

HILL COUNTRY INDOOR

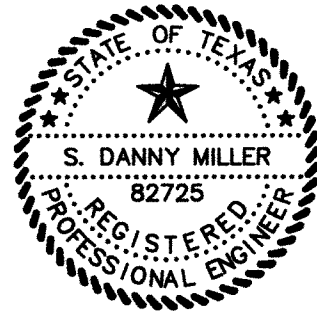
SITE DEVELOPMENT PLAN AND NPS POLLUTION CONTROL PLAN

HILL COUNTRY INDOOR
SITE DEVELOPMENT PLANS / NPS PLAN
A278-0401

SUBMITTED FOR APPROVAL BY:
LJA ENGINEERING, INC.


S. DANNY MILLER, P.E. #82725
LICENSED PROFESSIONAL ENGINEER

3-2-15
DATE



CITY OF BEE CAVE APPROVAL DATE

REVIEWED BY:

CITY OF BEE CAVE

DATE

WEST TRAVIS COUNTY PUBLIC UTILITY AGENCY

DATE

LAKE TRAVIS FIRE AND RESCUE

DATE

AUSTIN ENERGY

DATE

14-144

CITY OF BEE CAVE SITE AND NPS NUMBER

DATE

NOTES:

- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN APPROVING THESE PLANS, THE CITY OF BEE CAVE MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.
- THIS PROJECT IS LOCATED IN THE LITTLE BARTON CREEK WATERSHED. THIS PROJECT IS WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.
- NO PORTION OF THE IMPROVEMENTS IS WITHIN THE DESIGNATED FLOOD HAZARD AREA AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) # 48453C0405 H, TRAVIS COUNTY, TEXAS, DATED SEPTEMBER 26, 2008.
- THIS PROJECT IS LOCATED IN THE CITY OF BEE CAVE, TEXAS.
- AN NPS PERMIT IS REQUIRED PRIOR TO CONSTRUCTION OF THE SITE.
- THIS SITE IS ZONED PD-R PER ORDINANCE NO. 113 & 201 AND IS SUBJECT TO THE DEVELOPMENT STANDARDS OF SAID ORDINANCES.
- WEST TRAVIS COUNTY PUBLIC UTILITY AGENCY DOES NOT GUARANTEE FIRE FLOW.
- WTC PUA IS THE WATER AND WASTEWATER PROVIDER.
- A WTC PUA REPRESENTATIVE MUST BE PRESENT AT THE TIME OF CONNECTION TO THE EXISTING SYSTEM.
- WTC PUA HAS ADOPTED CITY OF AUSTIN DESIGN STANDARDS.
- ALL WATER AND WASTEWATER UTILITY INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF AUSTIN SPECIFICATIONS AND WITH MATERIALS FROM THE APPROVED CITY OF AUSTIN STANDARD PRODUCTS LIST.
- THIS PROJECT WILL BE PROVIDED WITH WATER QUALITY CONTROLS BY THE EXISTING EXTENDED DETENTION POND, AND BIO-RETENTION POND CONSTRUCTED WITH COBC SITE PERMIT #07648.
- DEVELOPED RUNOFF FROM THIS PROJECT WILL BE DETAINED BY THE DETENTION POND CONSTRUCTED WITH HCI SUBDIVISION - PHASE 1 SUBDIVISION IMPROVEMENTS.
- THIS SITE WILL PROVIDE A RAINWATER HARVESTING SYSTEM FOR PRIVATE USE THAT SHALL BE MAINTAINED BY THE PROPERTY OWNER, PER THE MAINTENANCE PLAN ON SHEET 11. MAINTENANCE OF THE HARVESTING SYSTEM SHALL BE PROVIDED PER THE APPLICABLE REQUIREMENTS OF THE CITY OF AUSTIN'S ENVIRONMENTAL CRITERIA MANUAL, SECTIONS 1.6.3A-1.6.3C. THIS SITE IS ALSO SUBJECT TO AN INTEGRATED PEST MANAGEMENT PLAN (IPM) THAT IS ON RECORD WITH THE CITY OF BEE CAVE.
- ANY LIGHTING PROVIDED IN THE OVERFLOW PARKING AREAS SHALL BE SHIELDED, SHALL NOT BE TURNED ON EXCEPT FOR EVENTS THAT OCCUR REQUIRING OVERFLOW PARKING AND SHALL NOT EXCEED THE TOTAL FOOT CANDLE OR LUMEN REQUIREMENTS CONTAINED IN THE CITY CODE OF ORDINANCES CALCULATED AS AN AVERAGE ACROSS THE PROJECT SITE AS A WHOLE; IT BEING UNDERSTOOD THAT THE PARKING LOT LIGHTING OF THE OVERFLOW PARKING AREA MAY BE PROVIDED THROUGH THE USE OF TEMPORARY LIGHTING THAT MAY PRODUCE "HOT SPOTS" THAT EXCEED THE CODE OF ORDINANCE REQUIREMENTS FOR SMALL PORTIONS OF THE PARKING AREAS, BUT THE LIGHTING OF THE PARKING AREAS AS AVERAGED ACROSS THE PROJECT SITE SHALL COMPLY WITH THE CITY'S CODE OF ORDINANCES.
- ALL OTHER OUTDOOR LIGHTING MUST COMPLY WITH THE CITY'S CODE OF ORDINANCES. PROVIDED HOWEVER, THAT THE CITY COUNCIL HAS THE AUTHORITY PURSUANT TO SITE PLAN APPROVAL UPON THE REQUEST OF THE DEVELOPER TO APPROVE A LIGHTING PLAN WHICH DEVIATES FROM THE CITY'S CODE OF ORDINANCES OR FROM THIS ORDINANCE, IF THE CITY COUNCIL DETERMINES THAT AN ALTERNATE DESIGN ADEQUATELY MEETS THE INTENT OF THE CITY'S ORDINANCES.
- DECOMPOSED GRANITE (DG) IS TO BE LOOSELY PLACED AND HAND TAMPED, NO MECHANICAL COMPACTION SHALL OCCUR. UPON COMPLETION, DG SHALL BE WATERED DOWN AND OBSERVED BY THE PROJECT ENGINEER AND THE CITY OF BEE CAVE TO INSURE PERMEABILITY OF THE DG.

REVISIONS / CORRECTIONS

Number	Description	Revise (R) Add (A) Void (V) Sheet No.'s	Total # of Sheets in Plan Set	Net Change Imp. Cover (sq. ft.)	Total Site Imp. Cover (sq. ft.) %	City of Bee Cave Approval Date	Date Imaged



LOCATION MAP

SCALE: 1" = 1000'

4317 SKAGGS DR.
BEE CAVE, TX 78738

SUBMITTAL DATE: NOV. 4, 2014

LEGAL DESCRIPTION

LOT 1, BLOCK A (8.603 AC.)
HCI SUBDIVISION
DOC # 201300022 OPRTC TX

BENCHMARKS

CHAPARRAL CONTROL POINT R398
1/2 REBAR W/RANDOM TRV CAP SET

SURFACE COORDINATES:
N 10086279.90
E 3045142.67
ELEV=955.61

TEXAS CENTRAL ZONE STATE
PLANE COORDINATES:
N 10085377.43
E 3044870.21
ELEV=955.61

OWNER: JSJ.MCL, L.L.C.
11715 BEE CAVES RD STE. 300
AUSTIN, TEXAS 78738
PHONE # (512) 263-4144

DEVELOPER: HILL COUNTRY INDOOR
11715 RM 2244, SUITE 300
AUSTIN, TX 78738
PHONE # (512) 586-8044

ENGINEER: LJA ENGINEERING INC.
5318 HIGHWAY 290 W., SUITE 150
AUSTIN, TEXAS 78735
CONTACT PERSON: DANNY MILLER, P. E.
PHONE # (512) 439 - 4700
FAX # (512) 439 - 4716

SURVEYOR: CHAPARRAL PROFESSIONAL
LAND SURVEYING, INC.
T.B.P.L.S. FIRM NO. 10124500
3500 McCALL LANE
AUSTIN, TEXAS 78744
PHONE # (512) 443 - 1724
FAX # (512) 388 - 0943

ARCHITECT: LANGLE DESIGN & CONSTRUCTION
MANAGEMENT, LLC
P.O. BOX 286
SPRINGWOOD, TEXAS 78669
CONTACT PERSON: JUDE LANGLE
PHONE # (512) 413 - 2714

LANDSCAPE ARCHITECT: LEE & ASSOCIATES, INC.
6101 WEST COURTYARD DR.
BUILDING 3, SUITE 100
AUSTIN, TEXAS 78730
CONTACT PERSON: AMBER ROTHWELL
PHONE # (512) 345 - 8477

Public Water Improvements Materials List

Quantity	Units	Item
370	L.F.	12" AWWA C-900 PVC DR-14 Pipe
842	L.F.	8" AWWA C-900 PVC DR-14 Pipe
7	L.F.	4" AWWA C-900 PVC DR-14 Pipe
76	L.F.	6" Class 350 Ductile Iron Pipe
2	Ea.	5 1/2" Fire Hydrants
2	Ea.	6" Gate Valves
15	L.F.	2" HDPE PIPE
1	Ea.	12" Gate Valve
6	Ea.	8" Gate Valve
1	Ea.	4" Gate Valve
1	Ea.	1" Automatic Air Release Valve
1	Ea.	2" Water Meter is for Domestic Purpose Only
1	Ea.	2" Water Meter is for Irrigation Purpose Only

Water Meter sizes are to be determined and approved by the WTCPUA before impact fees are paid & meters are set.

Public Wastewater Improvements Materials List

Quantity	Units	Item
1	Each	4' Diameter Wastewater Manhole

Water Line Joint Restraints Table - Horizontal

Water Line	Line Size	From	To	LF
A	8"	1+00.00	1+20.00	20
A	8"	4+10.00	4+45.00	35
A	8"	6+30.00	6+70.00	40
A	8"	6+90.04	7+34.04	44
A-1	8"	1+65.00	1+80.00	15
		From	To	LF
B	12"	1+00.00	1+35.00	35
B	12"	4+55.29	4+69.29	14

All Joints shall be restrained using an approved system indicated by City Austin SPL WW-27A. All water lines 8 inches in diameter and smaller shall be restrained per City of Austin Standard Specifications, Item No. 510.3 (22)(b)(2)

Water Line Joint Restraints Table - Vertical

Water Line	Line Size	From	To	LF
B	12"	3+15.00	3+45.00	30

All Joints shall be restrained using an approved system indicated by City Austin SPL WW-27A. All water lines 8 inches in diameter and smaller shall be restrained per City of Austin Standard Specifications, Item No. 510.3 (22)(b)(2)

WEST TRAVIS COUNTY PUBLIC UTILITY AGENCY NOTES

- WEST TRAVIS COUNTY PUBLIC UTILITY AGENCY IS THE WATER AND WASTEWATER PROVIDER.
- 1-2" METER IS FOR DOMESTIC PURPOSES ONLY.
- 1-2" METER IS FOR IRRIGATION PURPOSES ONLY.
- WTC PUA DOES NOT GUARANTEE FIRE FLOW.
- A WEST TRAVIS COUNTY PUBLIC UTILITY AGENCY REPRESENTATIVE MUST BE PRESENT AT THE TIME OF CONNECTION TO THE EXISTING SYSTEM.
- ALL WATER AND WASTEWATER INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF AUSTIN SPECIFICATIONS AND WITH MATERIALS FROM THE APPROVED CITY OF AUSTIN STANDARD PRODUCTS LIST.

SHEET NO.

DESCRIPTION

- CV01 COVER SHEET
- FP01 FINAL PLAT
- GN01 GENERAL NOTES & DETAILS
- EC01 EROSION CONTROL PLAN
- EC02 EROSION CONTROL NOTES & DETAILS
- SP01 SITE PLAN
- SP02 SITE PLAN - ENLARGED AMENITIES DETAIL
- PV01 PAVING PLAN & SECTIONS
- GP01 GRADING PLAN
- DM01 ONSITE DRAINAGE AREA MAP
- DM02 ONSITE DRAINAGE CALCULATIONS
- SL01 SLOPE MAP
- SS01 STORM SEWER PLAN
- WL01 WATER PLAN
- WL02 WATER PLAN PROFILE
- WW01 WASTEWATER PLAN AND PROFILE
- DT01 DETAIL SHEET
- DT02 DETAIL SHEET
- DT03 DETAIL SHEET
- LS01 LANDSCAPING ORDINANCE PLAN
- LS02 PROPOSED TREE PLAN
- LS03 LANDSCAPING ORDINANCE NOTES
- LS04 EXISTING TREES
- LS05 IRRIGATION PLAN
- LS06 IRRIGATION PLAN
- LS07 IRRIGATION DETAILS
- LS08 IRRIGATION NOTES
- R01 SKAGGS TRACT WATER QUALITY PLANS (FOR REF. ONLY)
- R02 SKAGGS TRACT WATER QUALITY PLANS (FOR REF. ONLY)
- R03 SKAGGS TRACT WATER QUALITY PLANS (FOR REF. ONLY)
- TC01 TRAFFIC CONTROL DETAILS
- BE01 BUILDING ELEVATIONS AND MATERIALS
- BE02 BUILDING DIMINSIONS AND MATERIALS
- BE03 BUILDING FOUNDATION PLAN
- BE04 RAIN WATER HARVESTING SHCEMATIC DESIGN
- BE05 FOUNDATION WALL DETAILS
- LG01 LIGHTING INTENSITY PLAN
- LG02 LIGHTING LOCATION PLAN
- LG03 LIGHTING DETAILS AND CALCULATIONS
- LG04 LIGHTING DETAILS AND CALCULATIONS
- LG05 TEMPORARY PARKING LIGHTING CALCULATIONS

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



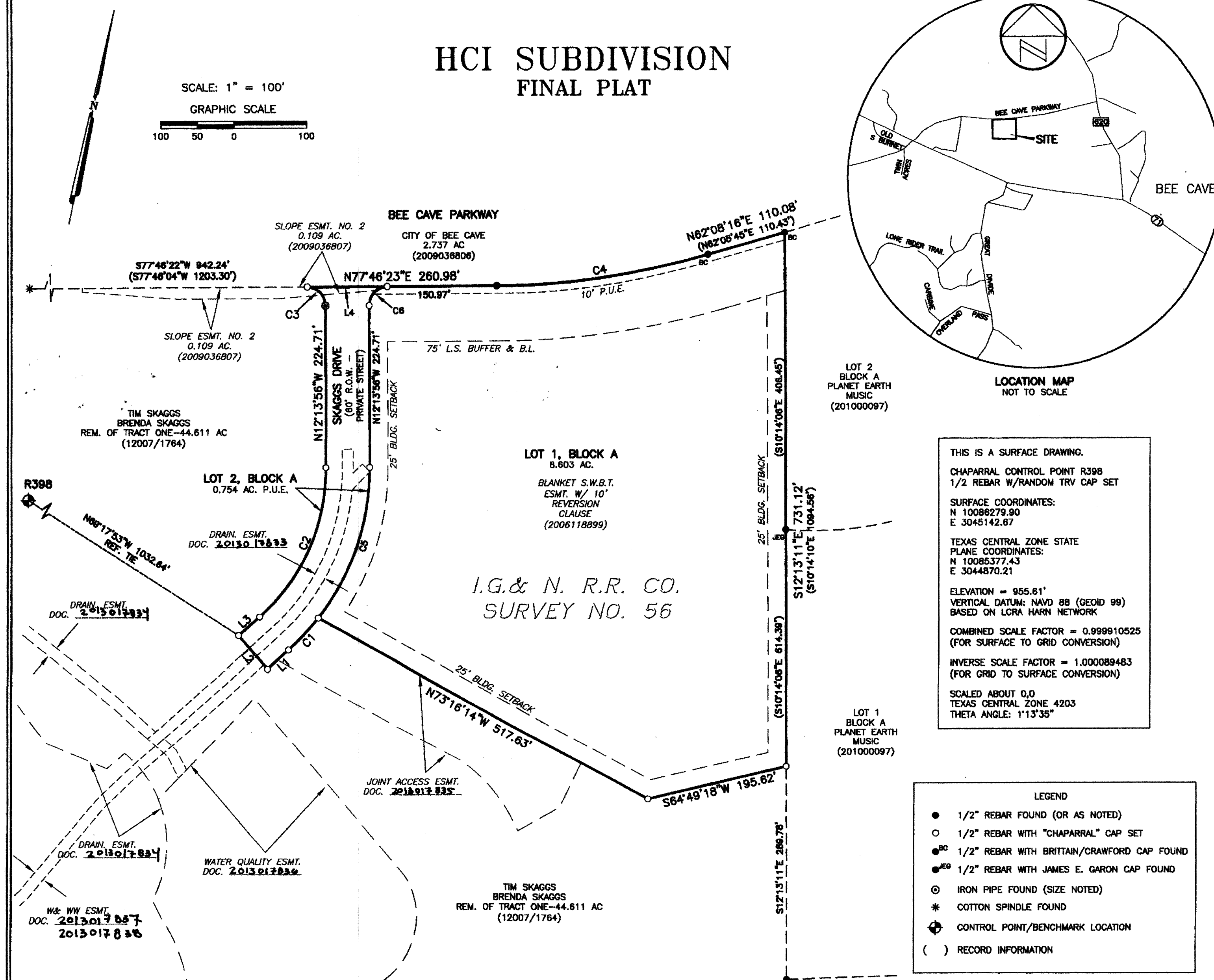
LJA Engineering, Inc.

5316 Highway 290 West
Suite 150
Austin, Texas 78735



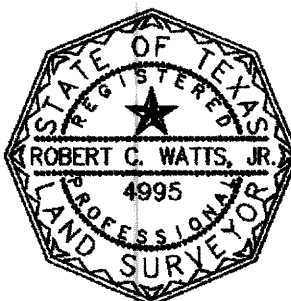
Phone 512.439.4700
Fax 512.439.4716
FRN - F-1386

HCI SUBDIVISION FINAL PLAT



SURVEYOR'S CERTIFICATION
THAT I, ROBERT C. WATTS, JR., DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN HEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE OF THE CITY OF BEE CAVE, TEXAS. DATE OF SURVEY: JUNE, 2012.

Robert C. Watts, Jr., R.P.L.S. 4995
SURVEYING BY:
CHAPARRAL PROFESSIONAL LAND SURVEYING, INC.
3500 MCCALL LANE
AUSTIN, TEXAS 78744
(512) 443-1724

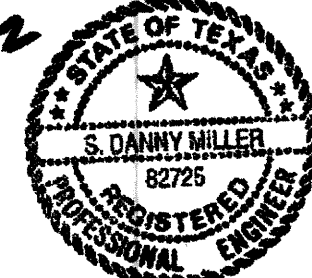


ENGINEER'S CERTIFICATION:

I, DANNY MILLER, A REGISTERED PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF TEXAS, HEREBY CERTIFIES THAT PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT AND IT MEETS THE REQUIREMENTS OF THE SUBDIVISION ORDINANCE OF THE CITY OF BEE CAVE, TEXAS.

THE 100 YEAR FLOOD PLAIN IS CONTAINED WITHIN THE DRAINAGE EASEMENTS SHOWN HEREON. THE TRACT SHOWN HEREON LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AS SHOWN ON MAP NO. 4845300405H AND 4845300415H DATED SEPTEMBER 26, 2008, FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

Danny Miller, P.E. 12-13-12



ENGINEERING BY:
LJA ENGINEERING, INC.
5316 HIGHWAY 290 WEST, SUITE 150
AUSTIN, TEXAS 78735
512-438-4700
TEXAS REGISTERED ENGINEERING FIRM FRN-F1368

Chaparral
Professional Land Surveying, Inc.
Surveying and Mapping
3500 McCall Lane
Austin, Texas 78744
512-443-1724

PROJECT NO.: 844-001
DRAWING NO.: 844-001-PL1
PLOT DATE: 12/13/12
PLOT SCALE: 1"=100'
DRAWN BY: RCW
SHEET 01 OF 02

STATE OF TEXAS
COUNTY OF TRAVIS
KNOW ALL MEN BY THESE PRESENTS:

THAT TIM AND BRENDA SKAGGS, BEING THE OWNERS OF 9.357 ACRES IN THE I.G. & N. R.R. CO. SURVEY NO. 56, AND BEING A PORTION OF A 44.611 ACRE TRACT (TRACT ONE), CONVEYED BY WARRANTY DEED WITH VENDOR'S LIEN DATED JULY 1, 1993 AND RECORDED IN VOLUME 12007, PAGE 1784 OF THE REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS;

DO HEREBY SUBDIVIDE 9.357 ACRES IN ACCORDANCE WITH THE MAP OR PLAT ATTACHED HERETO, TO BE KNOWN AS HCI SUBDIVISION

AND DO HEREBY DEDICATE TO THE PUBLIC THE USE OF ALL STREETS AND EASEMENTS SHOWN HEREON, SUBJECT TO ANY AND ALL EASEMENTS OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND THIS 28 DAY OF January, 2013 A.D.

BY: Tim Skaggs
TIM SKAGGS
13618 WEST HIGHWAY 71
BEE CAVE, TX 78738

STATE OF TEXAS
COUNTY OF TRAVIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED TIM SKAGGS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEALED IN MY OFFICE, THIS THE 28 DAY OF January, 2013 A.D.

BY: Brenda A. Galindo
BRENDA A. GALINDO
13618 WEST HIGHWAY 71
BEE CAVE, TX 78738



WITNESS MY HAND THIS 28 DAY OF January, 2013 A.D.

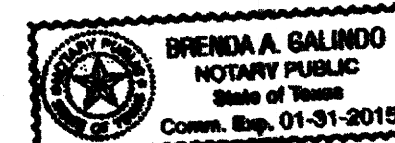
BY: Brenda Skaggs
BRENDA SKAGGS
13618 WEST HIGHWAY 71
BEE CAVE, TX 78738

STATE OF TEXAS
COUNTY OF TRAVIS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRENDA SKAGGS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND HE ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND AND SEALED IN MY OFFICE, THIS THE 28 DAY OF January, 2013 A.D.

BY: Brenda A. Galindo
BRENDA A. GALINDO
13618 WEST HIGHWAY 71
BEE CAVE, TX 78738



FINAL PLAT APPROVED BY THE CITY OF BEE CAVE FOR FILING AT THE OFFICE OF THE COUNTY CLERK OF TRAVIS COUNTY, TEXAS.

APPROVED BY: PLANNING AND ZONING COMMISSION, CITY OF BEE CAVE, TEXAS.

APPROVED BY: CITY COUNCIL, CITY OF BEE CAVE, TEXAS.

APPROVED BY: CITY COUNCIL, CITY OF BEE CAVE, TEXAS.

APPROVED BY: CITY COUNCIL, CITY OF BEE CAVE, TEXAS.

ATTEST: Kayllyn Holloway 1-31-13
KAYLYNN HOLLOWAY
CITY SECRETARY
CITY OF BEE CAVE, TEXAS

THIS PROPERTY IS LOCATED IN THE CORPORATE LIMITS OF THE CITY OF BEE CAVE, TRAVIS COUNTY, TEXAS.

ATTEST: Caroline Murphy 1-31-13
CAROLINE MURPHY, MAYOR
CITY OF BEE CAVE, TEXAS

ATTEST: Kayllyn Holloway 1-31-13
KAYLYNN HOLLOWAY
CITY SECRETARY
CITY OF BEE CAVE, TEXAS

I, THE UNDERSIGNED MAYOR OF THE CITY OF BEE CAVE, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY, AND IS HEREBY AUTHORIZED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF BEE CAVE FOR RECORDING IN THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS.

ATTEST: Caroline Murphy 1-31-13
CAROLINE MURPHY, MAYOR
CITY OF BEE CAVE, TEXAS

ATTEST: Kayllyn Holloway 1-31-13
KAYLYNN HOLLOWAY
CITY SECRETARY
CITY OF BEE CAVE, TEXAS

NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF THE CITY OF BEE CAVE ORDINANCES AND STATE LAW, AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.

HCI SUBDIVISION FINAL PLAT

GENERAL NOTES:

IN APPROVING THIS PLAT, THE CITY OF BEE CAVE, TEXAS, ASSUMES NO OBLIGATION TO BUILD THE STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT OR ANY BRIDGES OR CULVERTS IN CONNECTION THEREWITH, OR PROVIDE ANY TRAFFIC CONTROL DEVICES OR SIGNS IN CONNECTION THEREWITH EXCEPT FOR TRAFFIC CONTROLS ON ROADWAYS DEDICATED HEREBY. THE BUILDING OF ALL STREETS, ROADS, AND OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT, AND ALL BRIDGES, CULVERTS, DRAINAGE STRUCTURES CONSTRUCTED OR PLACED IN SUCH STREETS, ROADS, OR OTHER PUBLIC THOROUGHFARES IN CONNECTION THEREWITH, IS THE RESPONSIBILITY OF THE OWNER AND/OR DEVELOPER OF THE TRACT OF LAND COVERED BY THIS PLAT IN ACCORDANCE WITH PLANS AND SPECIFICATIONS PRESCRIBED BY THE CITY OF BEE CAVE, TEXAS, AND BY THE COMMISSIONERS COURT OF TRAVIS COUNTY, TEXAS.

1. LOT 2, BLOCK A (SKAGGS DRIVE) IS A PRIVATE STREET / ACCESS EASEMENT AND SHALL BE MAINTAINED BY THE OWNER AND / OR THEIR ASSIGNS, OR BY A PROPERTY OWNERS ASSOCIATION THAT MAY BE DULY CREATED AT A FUTURE DATE. THE CREATION OF LOT 2, BLOCK A DOES NOT CONSTITUTE ACCEPTANCE OF SKAGGS DRIVE FOR MAINTENANCE BY THE CITY OF BEE CAVE. MAINTENANCE AGREEMENT FOR LOT 2, BLOCK A IS PROVIDED IN DOCUMENT NO. 201301785 PRCTCX.

2. THE OWNER OF LOT 2, BLOCK A HEREBY GRANTS THE CITY OF BEE CAVE, AND OTHER GOVERNMENTAL AGENCIES OR UTILITY PROVIDERS, UNRESTRICTED ACCESS TO THE EASEMENT AREA. THE CITY OF BEE CAVE SHALL HAVE THE RIGHT TO REMOVE ANY VEHICLE OR OTHER OBSTRUCTION THAT MAY PROHIBIT EMERGENCY ACCESS TO THE EASEMENT AREA.

3. THE STORMWATER DRAINAGE EASEMENT (DOCUMENT NO. 201301893, PRCTCX), WATER QUALITY FACILITY CONSTRUCTION AND DRAINAGE EASEMENT (DOCUMENT NO. 201301894, PRCTCX), AND STORMWATER DETENTION FACILITY EASEMENT (DOCUMENT NO. 201301895, PRCTCX) SHALL PROVIDE DRAINAGE CONVEYANCE, WATER QUALITY AND STORMWATER DETENTION FOR LOT 1 AND LOT 2, BLOCK A OF THIS SUBDIVISION.

4. THE WASTEWATER EASEMENTS (DOCUMENT NO. 201301896, 201301897, PRCTCX) SHALL PROVIDE WASTEWATER SERVICE FROM WTPCUA TO LOT 2, BLOCK A OF THIS SUBDIVISION.

5. ELECTRIC SERVICE SHALL BE PROVIDED BY AUSTIN ENERGY AND IS LOCATED WITHIN THE BEE CAVE PARKWAY R.O.W. ALL ELECTRIC SERVICE FOR LOT 1 AND LOT 2, BLOCK A SHALL BE UNDERGROUND.

6. A PRIVATE JOINT ACCESS EASEMENT (DOCUMENT NO. 200601135, PRCTCX) SHALL BE PROVIDED JOINT ACCESS TO LOT 1, BLOCK A AND FUTURE DEVELOPMENT, AND SHALL BE MAINTAINED BY THE OWNER AND / OR THEIR ASSIGNS IN ACCORDANCE WITH EASEMENT.

WATER & WASTEWATER NOTES:

THE WEST TRAVIS COUNTY PUBLIC UTILITY AGENCY (PUA) WILL PROVIDE WATER AND WASTEWATER FOR THIS LOT. WATER AND WASTEWATER SERVICES WILL BE PROVIDED IN ACCORDANCE WITH A SERVICE AGREEMENT, TO BE EXECUTED BY PUA AND THIS LOT OWNER. PRIOR TO THE PROVISION OF WATER AND WASTEWATER SERVICES, THIS LOT OWNER SHALL DEDICATE WATER AND WASTEWATER EASEMENTS TO THE PUA, AS THE PUA REASONABLY REQUIRES IN LOCATIONS ACCESSIBLE TO THE LOT OWNER.

OCCUPANCY OF ANY LOT IS PROHIBITED UNTIL WATER SATISFACTORY FOR HUMAN CONSUMPTION IS AVAILABLE FROM A SOURCE ON THE LAND, A COMMUNITY SOURCE, OR A PUBLIC UTILITY SOURCE IN ADEQUATE AND SUFFICIENT SUPPLY TO SERVE EACH LOT. PLANS AND SPECIFICATIONS FOR A PRIVATE WATER SUPPLY SYSTEM MUST BE SUBMITTED BY A LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ).

OCCUPANCY OF ANY LOT IS PROHIBITED UNTIL AN ON-SITE WASTE DISPOSAL, SUCH AS A SEPTIC TANK, SYSTEM IS INSTALLED IN ACCORDANCE WITH THE CITY'S AND THE STATE'S RULES AND REGULATIONS GOVERNING SUCH SYSTEMS, AND UNTIL THE CITY HAS INSPECTED AND APPROVED THE INSTALLED SYSTEM, OR CONNECTION MADE TO THE PUA FOR CENTRALIZED WASTEWATER SERVICE.

ELECTRIC UTILITY NOTES:

AUSTIN ENERGY HAS THE RIGHT TO PRUNE AND/OR REMOVE TREES, SHRUBBERY AND OTHER OBSTRUCTIONS AS NECESSARY TO KEEP THE EASEMENTS CLEAR. AUSTIN ENERGY WILL PERFORM ALL TREE WORK IN COMPLIANCE WITH CHAPTER 25-8, SUBCHAPTER B OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.

THE OWNER/DEVELOPER OF THIS SUBDIVISION/LOT SHALL PROVIDE AUSTIN ENERGY WITH ANY EASEMENT AND/OR ACCESS REQUIRED, IN ADDITION TO THOSE INDICATED, FOR THE INSTALLATION AND ONGOING MAINTENANCE OF OVERHEAD AND UNDERGROUND ELECTRIC FACILITIES. THESE EASEMENTS AND/OR ACCESS ARE REQUIRED TO PROVIDE ELECTRIC SERVICE TO THE BUILDING AND WILL NOT BE LOCATED SO AS TO CAUSE THE SITE TO BE OUT OF COMPLIANCE WITH CHAPTER 25-8 OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.

THE OWNER SHALL BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY EROSION CONTROL, REVEGETATION AND TREE PROTECTION. IN ADDITION, THE OWNER SHALL BE RESPONSIBLE FOR ANY INITIAL TREE PRUNING AND TREE REMOVAL THAT IS WITHIN TEN FEET OF THE CENTER LINE OF THE PROPOSED OVERHEAD ELECTRICAL FACILITIES DESIGNED TO PROVIDE ELECTRIC SERVICE TO THIS PROJECT. THE OWNER SHALL INCLUDE AUSTIN ENERGY'S WORK WITHIN THE LIMITS OF CONSTRUCTION FOR THIS PROJECT.

ORDINANCE NOTES:

THIS LOT IS SUBJECT TO THE HILL COUNTRY INDOOR P.D., ORDINANCE NO. 113, APPROVED ON MAY 22, 2012. DEVELOPMENT REGULATIONS NOT IDENTIFIED WITHIN THE P.D. SHALL BE SUBJECT TO THOSE REGULATIONS IN EFFECT ON THE DATE THIS FINAL PLAT WAS SUBMITTED FOR REVIEW. AN NPS PERMIT IS REQUIRED PRIOR TO ANY CONSTRUCTION ON THE SITE.

ACCESS NOTES:

THIS LOT IS SERVED BY ACCESS TO SKAGGS DRIVE.

RESTRICTIVE COVENANTS:

FLOODPLAIN NOTE:

THE TRACT SHOWN HEREON LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, AS SHOWN ON MAP NO. 4845300405H AND 4845300415H DATED SEPTEMBER 26, 2008, FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

THE STATE OF TEXAS
COUNTY OF TRAVIS

I, DANA DEBEAUVOR, CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING, WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE

ON THE 31 DAY OF January, A.D. 2013 AT 11:30 O'CLOCK A.M. AND DULY

RECORDED ON THE 31 DAY OF January, A.D. 2013 AT 11:30 O'CLOCK A.M., IN SAID COUNTY AND STATE, IN DOCUMENT NUMBER 201300022 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THE 31 DAY OF January

2013 A.D.

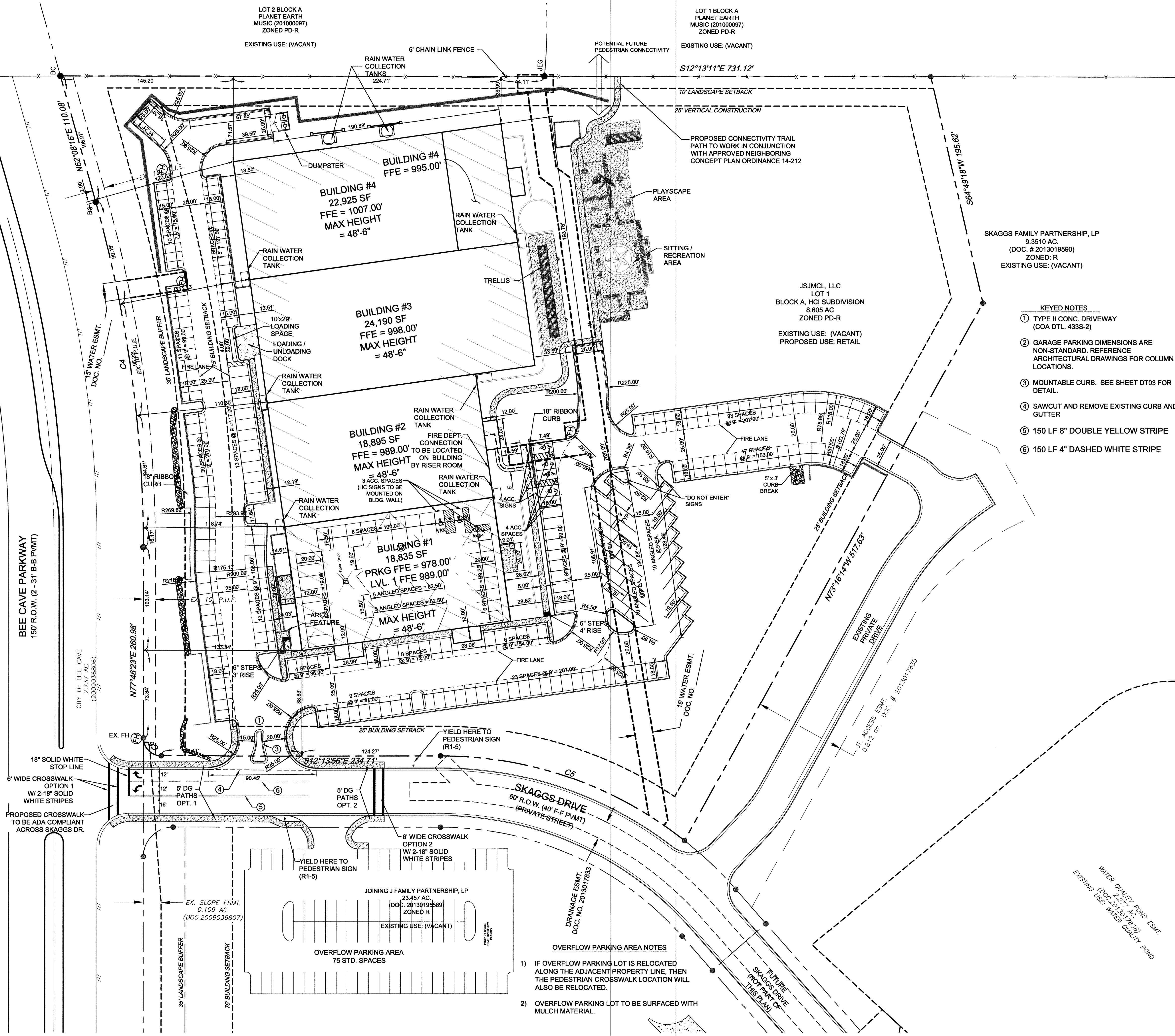
DANA DEBEAUVOR, COUNTY CLERK, TRAVIS COUNTY, TEXAS

BY: D. Clinton
DEPUTY
D. CLINTON



Chaparral
Professional Land Surveying, Inc.
Surveying and Mapping
3500 McCall Lane
Austin, Texas 78744
512-443-1724

PROJECT NO.: 844-001
DRAWING NO.: 844-001-PL1
PLOT DATE: 12/13/12
PLOT SCALE: 1"=100'



LEGEND

	BOUNDARY LINE & RIGHT-OF-WAY
	EASEMENT LINE
	STANDARD CURB & GUTTER
	CONCRETE SIDEWALK
	DECOMPOSED GRANITE
	CROSSWALK
	PROP. HANDICAP PARKING SPACE w/ LAY DOWN CURB
	VERTICAL SAW CUT ROCK WALL
	PROPOSED RETAINING WALL
	RIBBON CURB
	ACCESSIBLE ROUTE
	FIRE LANE
	3/4" IRON PIPE FOUND
	MAG NAIL FOUND
	1/2" REBAR WITH "CHAPARRAL" CAP SET
	CONTROL POINT/BENCHMARK LOCATION
	WATER METER
	ELECTRIC UTILITY
	ELECTRIC PULL BOX LIGHT POLE
	TRAFFIC SIGNAL POLE
	TELEPHONE UTILITY
	UNDERGROUND TELEPHONE MARKER
	TELEPHONE MANHOLE
	PROPOSED FIRE HYDRANT
	EXISTING FENCE

KEYED NOTES

- TYPE II CONC. DRIVEWAY (COA DTL 433S-2)
- GARAGE PARKING DIMENSIONS ARE NON-STANDARD. REFERENCE ARCHITECTURAL DRAWINGS FOR COLUMN LOCATIONS.
- MOUNTABLE CURB. SEE SHEET DT03 FOR DETAIL.
- SAWCUT AND REMOVE EXISTING CURB AND GUTTER
- 150 LF 8" DOUBLE YELLOW STRIPE
- 150 LF 4" DASHED WHITE STRIPE

NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
- BUILDING DETAILS ARE SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING INFORMATION.
- ALL DISTURBED AREAS WITHIN THE LIMITS OF CONSTRUCTION WILL NEED TO BE RE-VEGETATED.
- CONTRACTOR TO REPAIR ANY DAMAGES TO EXISTING ROADWAY AND SIDEWALKS CAUSED DURING CONSTRUCTION.
- NO BASE MATERIAL SHALL BE INSTALLED BELOW PROPOSED DECOMPOSED GRANITE SURFACES
- DECOMPOSED GRANITE (DG) TO BE LOOSELY PLACED AND HAND TAMPED, NO MECHANICAL COMPACTION SHALL OCCUR. UPON COMPLETION, DG SHALL BE WATERED DOWN AND OBSERVED BY THE PROJECT ENGINEER AND THE CITY OF BEE CAVE TO INSURE PERMEABILITY OF THE DG.

Hill Country Indoor - Site & Impervious Cover Calculations

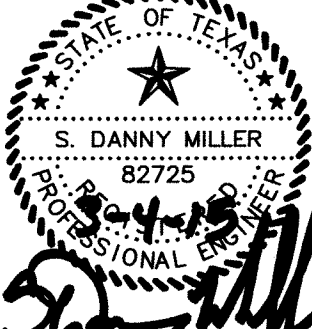
Gross Site Area	=	8,603 Ac.
Water Quality Buffer Zone	=	0.000 Ac.
Net Site Area	=	8,603 Ac.
Allowable Impervious Cover	=	
40% Net Site Area	=	3,441 Ac. 149,899 sf
45% Net Site Area w/ RW Harvesting	=	3,871 Ac. 168,636 sf
Proposed Impervious Cover	=	
Building Coverage	=	1,951 Ac. 85,000 sf
Parking / Driveways / Pwmt	=	1,870 Ac. 81,470 sf
Concrete Sidewalks	=	0.031 Ac. 1,357 sf
Concrete Splash Pad	=	0.013 Ac. 565 sf
Total Proposed IC	=	3,866 Ac. 168,982 sf 44.93% of NSA
* Decomposed Granite - with Option 1 Crosswalk	=	0.326 Ac. 14,206 sf
* Decomposed Granite - with Option 2 Crosswalk	=	0.328 Ac. 14,307 sf
* Decomposed Granite is considered as pervious material. No base material or filter fabric shall be installed below proposed decomposed granite surfaces. Decomposed granite area above includes only that which is to be located within the property boundary.	=	
Parking Calculations	=	
Required Parking	=	263 Sp. By HCD Ordinance 201
Provided Parking	=	
Standard Spaces	=	232 Sp.
Accessible Spaces	=	7 Sp.
Compact Spaces	=	27 Sp.
Total Spaces	=	266 Sp.
Loading Spaces	=	1 Sp. Provided

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



HILL COUNTRY INDOOR SITE DEVELOPMENT PLANS / NPS PLAN SITE PLAN

DATE	DESIGNED BY	SDM	DRAWN BY	BSH	CHECKED BY	SDM	DRAWING NAME	A279-401-SP01
3/4/2015								
NO.	REVISIONS	DESCRIPTION	DATE	BY	DATE	BY	DATE	BY



LJA Engineering, Inc.
Phone 512.439.4700
Suite 150
Austin, Texas 78735
Fax 512.439.4716
FRN - F-1986

JOB NUMBER:
A279-401

SP01

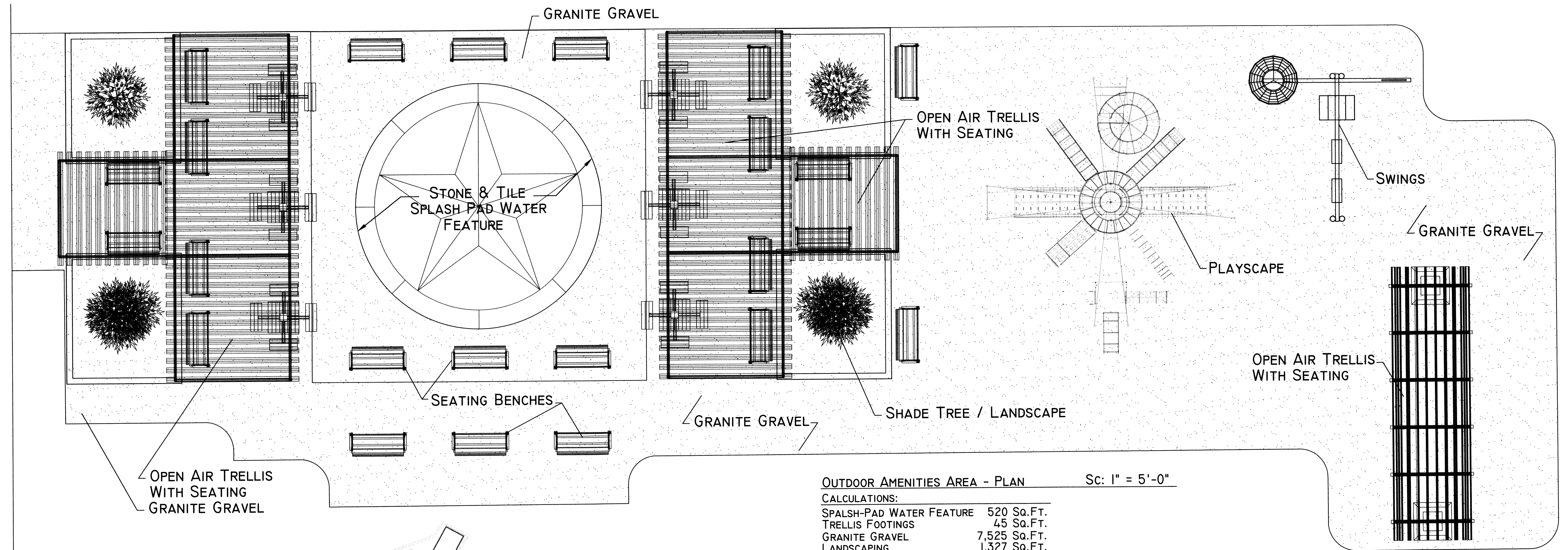
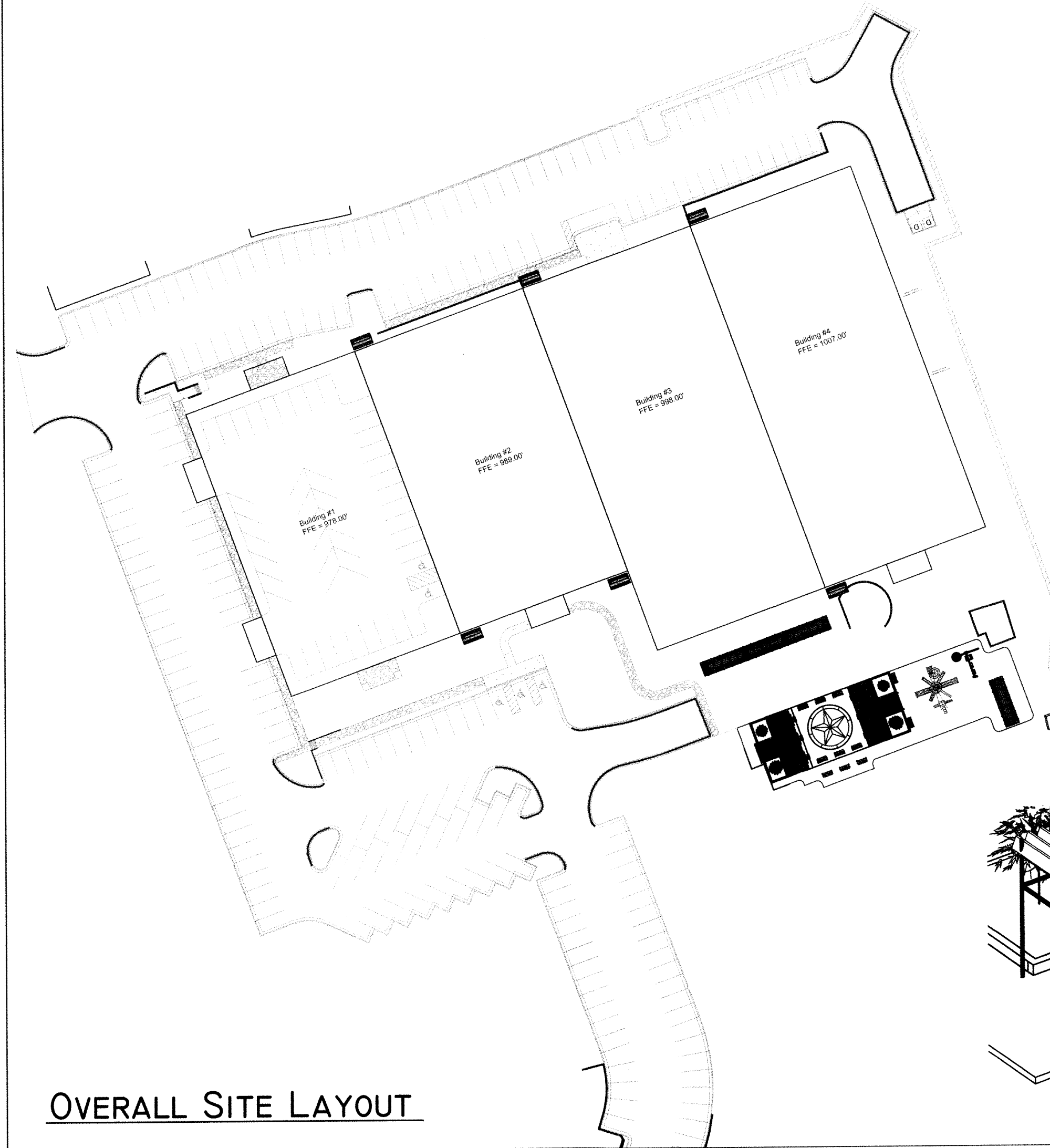
SHEET NO.

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OF 41 SHEETS

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Last Modified: 10/27/15 - 10:23
Plot Date/Time: 10/27/15 - 10:24:52

OVERALL SITE LAYOUT

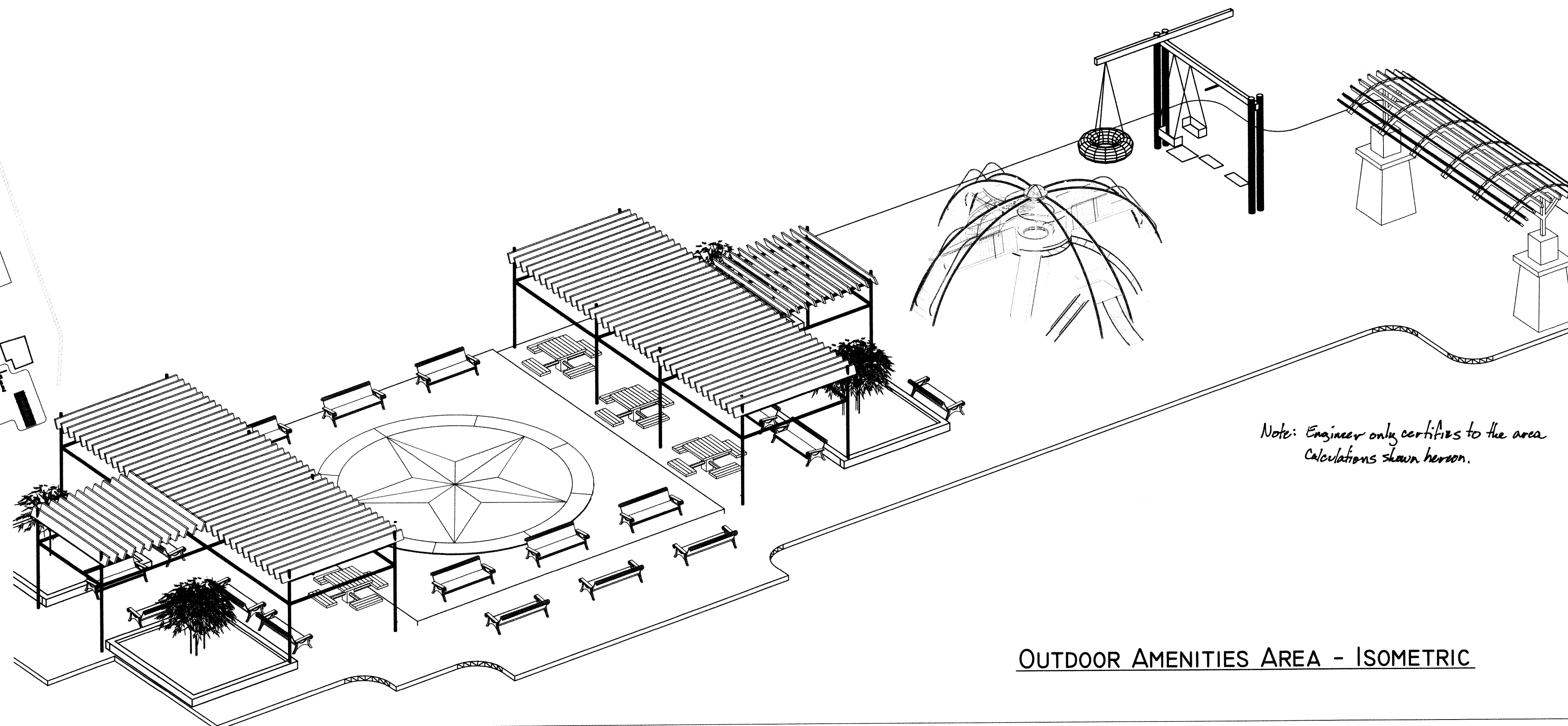


OUTDOOR AMENITIES AREA - PLAN

Sc: 1" = 5'-0"

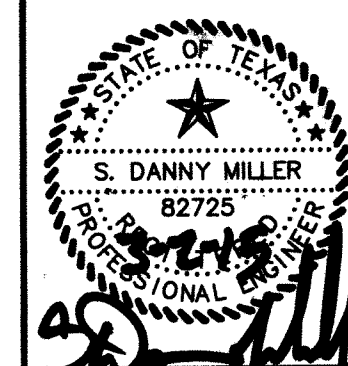
CALCULATIONS:

SPLASH-PAD WATER FEATURE	520 Sq.Ft.
TRELLIS FOOTINGS	45 Sq.Ft.
GRANITE GRAVEL	7,525 Sq.Ft.
LANDSCAPING	1,327 Sq.Ft.

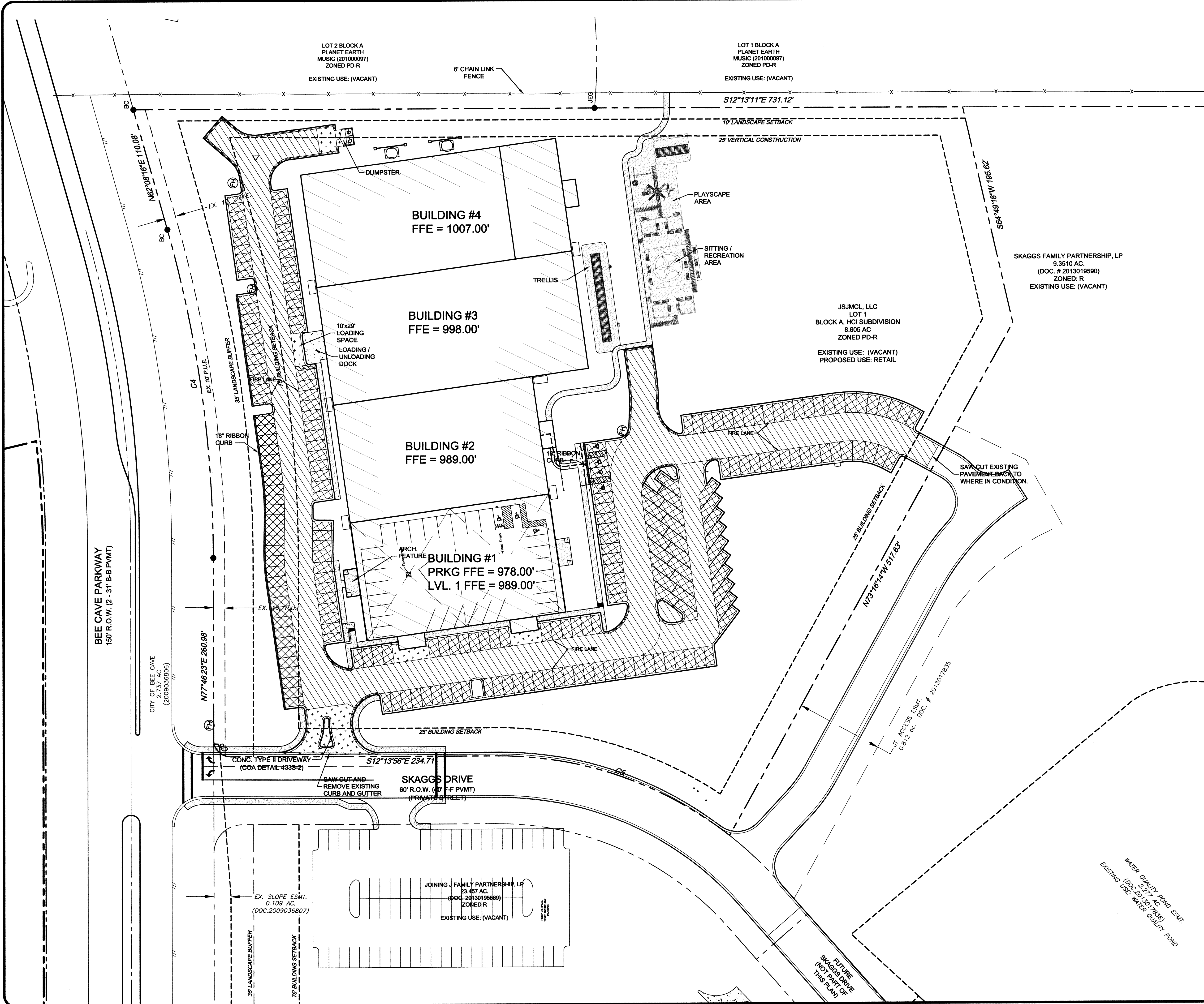


OUTDOOR AMENITIES AREA - ISOMETRIC

NO.	REVISIONS	DESCRIPTION	BY	DATE
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2				
3				
4				
5				
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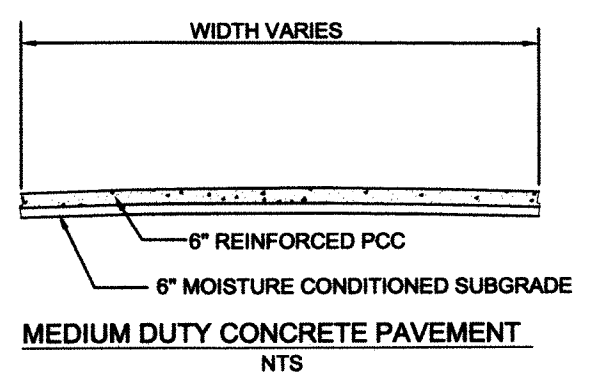
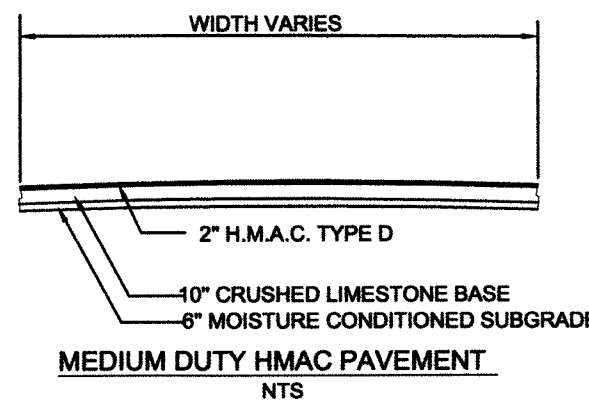
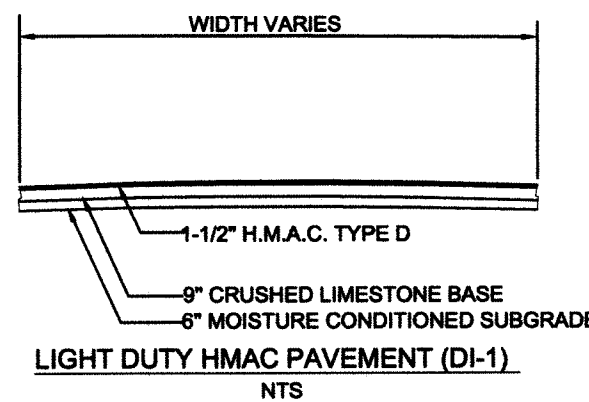
LJA Engineering, Inc.
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Fax 512.439.4716
FRN - F-1386



LEGEND

	BOUNDARY LINE & RIGHT-OF-WAY EASEMENT LINE
	STANDARD CURB & GUTTER
	CONCRETE SIDEWALK
	DECOMPOSED GRANITE
	CROSSWALK
	LIGHT-DUTY ASPHALT (DI-1)
	MEDIUM-DUTY ASPHALT PAVEMENT (DI-2)
	MEDIUM-DUTY CONCRETE PAVEMENT (DI-2)
	REBON CURB
	ACCESSIBLE ROUTE
	FIRE LANE
	EXISTING FENCE

PAVEMENT SECTIONS



PAVEMENT DESIGN IS PER GEOTECHNICAL REPORT PREPARED BY TERRACON ON JULY 2, 2012. SEE REPORT FOR DETAILED INSTALLATION & REBAR SPECS.

NOTES:

1. CONTRACTOR TO REPAIR ANY DAMAGES TO EXISTING ROADWAY AND SIDEWALKS CAUSED DURING CONSTRUCTION.
2. NO BASE MATERIAL SHALL BE INSTALLED BELOW PROPOSED DECOMPOSED GRANITE SURFACES.
3. CONTRACTOR TO IMPLEMENT RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR HILL COUNTRY INDOOR SPORTS, DATED JULY 2, 2012 AS PREPARED BY TERRACON CONSULTANTS, INC. FOR SPECIFIC DETAILS/REQUIREMENTS CONCERNING PAVEMENT CONSTRUCTION.

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



HILL COUNTRY INDOOR SITE DEVELOPMENT PLANS / NPS PLAN PAVING PLAN & SECTIONS

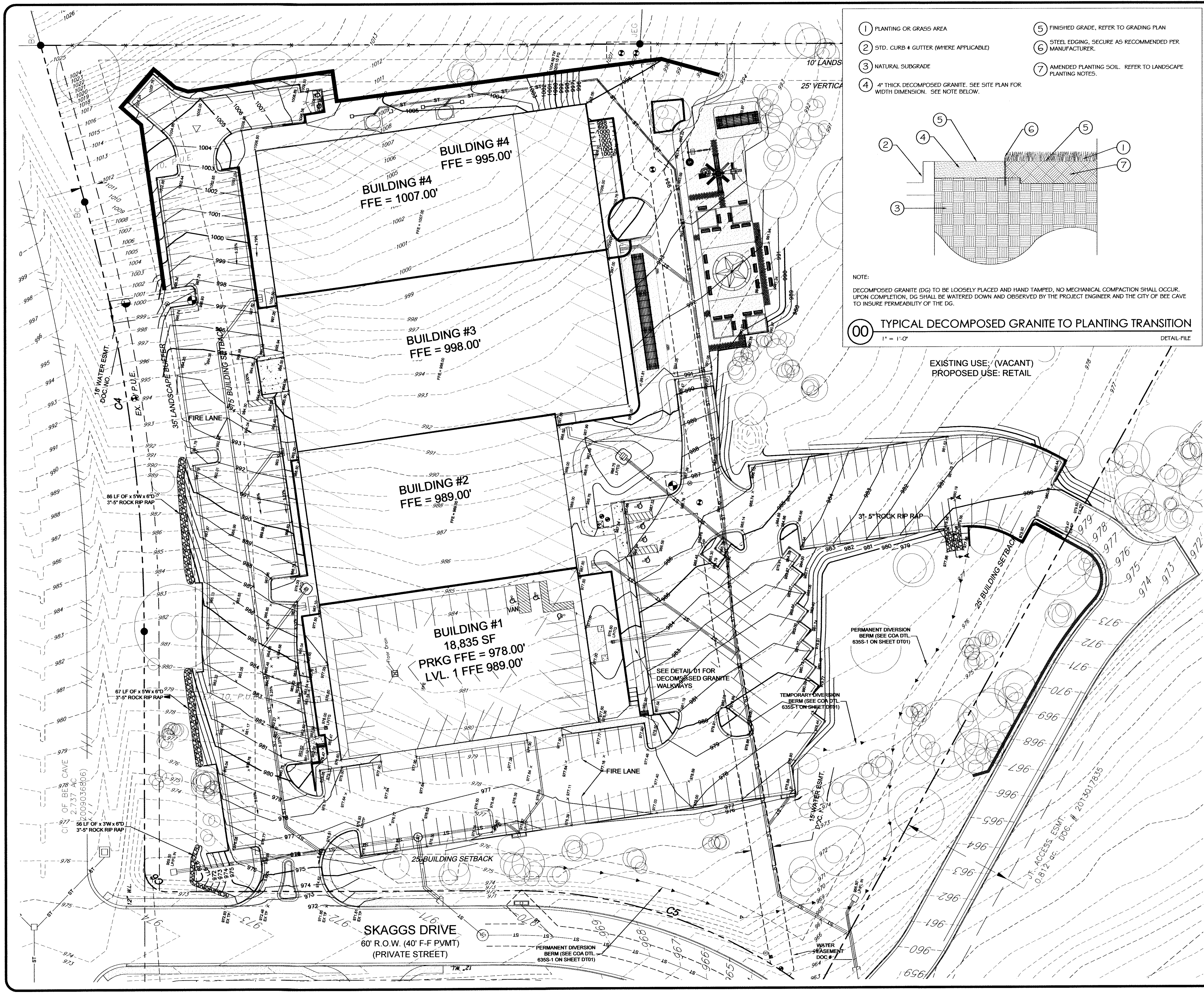
NO.	REVISIONS	DESCRIPTION	DATE	BY

DATE:	3/2/2015	DESIGNED BY:	SDM	DRAWN BY:	BSH	CHECKED BY:	SDM	DRAWING NAME:	A279-601-PV01
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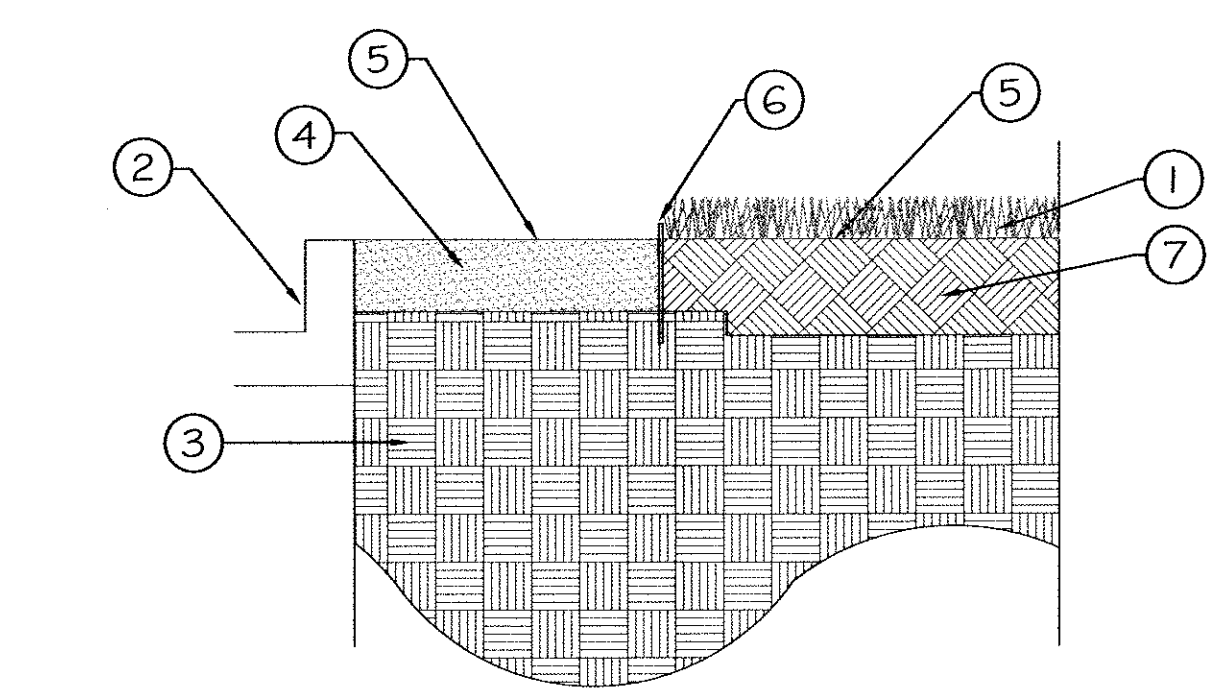
LJA Engineering, Inc.
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JOB NUMBER:	A279-401
PV01	
SHEET NO.	8
OF 41 SHEETS	

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Plot Date/Time: Feb. 25, 15 - 14:32:39



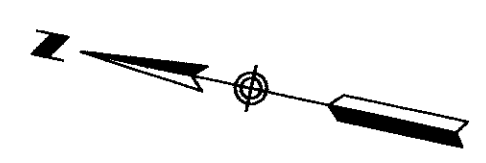
- 1 PLANTING OR GRASS AREA
- 2 STD. CURB & GUTTER (WHERE APPLICABLE)
- 3 NATURAL SUBGRADE
- 4 4" THICK DECOMPOSED GRANITE. SEE SITE PLAN FOR WIDTH DIMENSION. SEE NOTE BELOW.
- 5 FINISHED GRADE, REFER TO GRADING PLAN
- 6 STEEL EDGING, SECURE AS RECOMMENDED PER MANUFACTURER.
- 7 AMENDED PLANTING SOIL. REFER TO LANDSCAPE PLANTING NOTES.



NOTE:
DECOMPOSED GRANITE (DG) TO BE LOOSELY PLACED AND HAND TAMPED, NO MECHANICAL COMPACTION SHALL OCCUR. UPON COMPLETION, DG SHALL BE WATERED DOWN AND OBSERVED BY THE PROJECT ENGINEER AND THE CITY OF BEE CAVE TO INSURE PERMEABILITY OF THE DG.

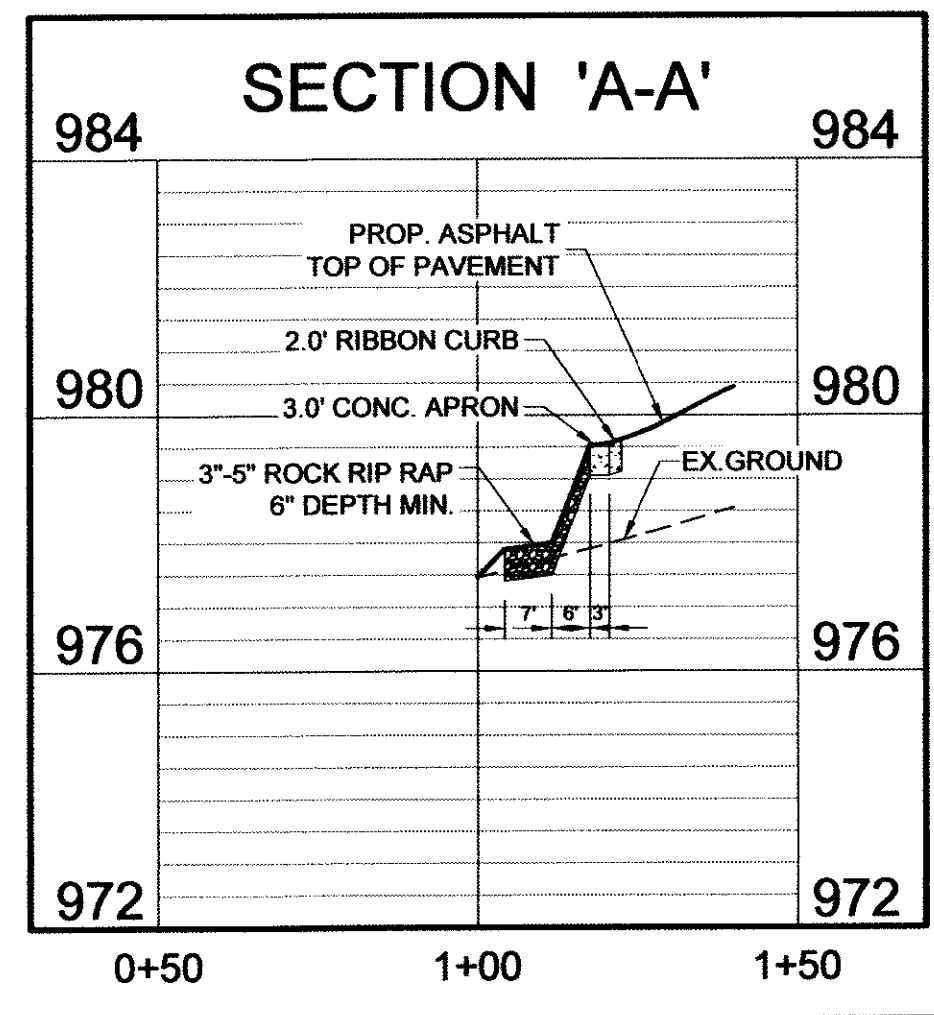
00 TYPICAL DECOMPOSED GRANITE TO PLANTING TRANSITION
1" = 1'-0"

DETAIL FILE



LEGEND	
PROPOSED	EXISTING
800	800
CONTOURS	CONTOURS
PROPOSED RETAINING WALL	PROPOSED RETAINING WALL
VERTICAL SAW CUT ROCK WALL	VERTICAL SAW CUT ROCK WALL
TOP OF PAVEMENT	TOP OF PAVEMENT
TOP OF CURB/CONCRETE	TOP OF CURB/CONCRETE
TOP OF GRATE	TOP OF GRATE
LOW POINT	LOW POINT
HIGH POINT	HIGH POINT
FINISHED SLAB	FINISHED SLAB
TOP OF WALL	TOP OF WALL
BOTTOM OF WALL	BOTTOM OF WALL
FINISHED GROUND	FINISHED GROUND
TREE TO REMAIN	TREE TO REMAIN
ST	ST
STORM SEWER LINE	STORM SEWER LINE
WW	WW
WASTEWATER LINE	WASTEWATER LINE
WL	WL
WATER LINE	WATER LINE
WV	WV
WATER VALVE	WATER VALVE
FD	FD
FIRE HYDRANT	FIRE HYDRANT
WWMH	WWMH
WASTEWATER MANHOLE	WASTEWATER MANHOLE
SSMH	SSMH
STORMSEWER MANHOLE	STORMSEWER MANHOLE
1/2" REBAR FOUND (OR AS NOTED)	1/2" REBAR FOUND (OR AS NOTED)
1/2" REBAR WITH CAP FOUND	1/2" REBAR WITH CAP FOUND
1/2" REBAR WITH CHAPARRAL CAP SET	1/2" REBAR WITH CHAPARRAL CAP SET
COTTON SPINDLE WITH CHAPARRAL WASHER SET	COTTON SPINDLE WITH CHAPARRAL WASHER SET
WM	WM
WATER METER	WATER METER
UP	UP
UTILITY POLE	UTILITY POLE
OVERHEAD UTILITIES	OVERHEAD UTILITIES
ELEC. UTILITY	ELEC. UTILITY
ELEC. MANHOLE	ELEC. MANHOLE
LP	LP
LIGHT POLE	LIGHT POLE
TU	TU
TELEPHONE UTILITY	TELEPHONE UTILITY
UFOM	UFOM
UNDERGROUND FIBER OPTIC MARKER	UNDERGROUND FIBER OPTIC MARKER
TMH	TMH
TELEPHONE MANHOLE	TELEPHONE MANHOLE
UGM	UGM
UNDERGROUND GAS MARKER	UNDERGROUND GAS MARKER
CLF	CLF
CHAIN LINK FENCE	CHAIN LINK FENCE

- NOTES:
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL RADII ARE 3' UNLESS OTHERWISE NOTED.
 - ALL SIDEWALKS ADJACENT TO BACK OF CURB SHALL BE 5' WIDE. ALL OTHER SIDEWALKS SHALL BE 4' WIDE UNLESS OTHERWISE NOTED.
 - ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 - ALL SIDEWALKS SHALL HAVE A MAX. RUNNING SLOPE OF 5%.
 - ALL SIDEWALKS SHALL HAVE A MAX. CROSS SLOPE OF 2%.
 - RAMPS SHALL NOT EXCEED 8.33% RAMP LONGER THAN 6' REQUIRE HANDRAILS. RAMP LONGER THAN 30' REQUIRE A LEVEL LANDING.
 - ALL PAVEMENT SHALL BE CONCRETE WITH CURB AND GUTTER.



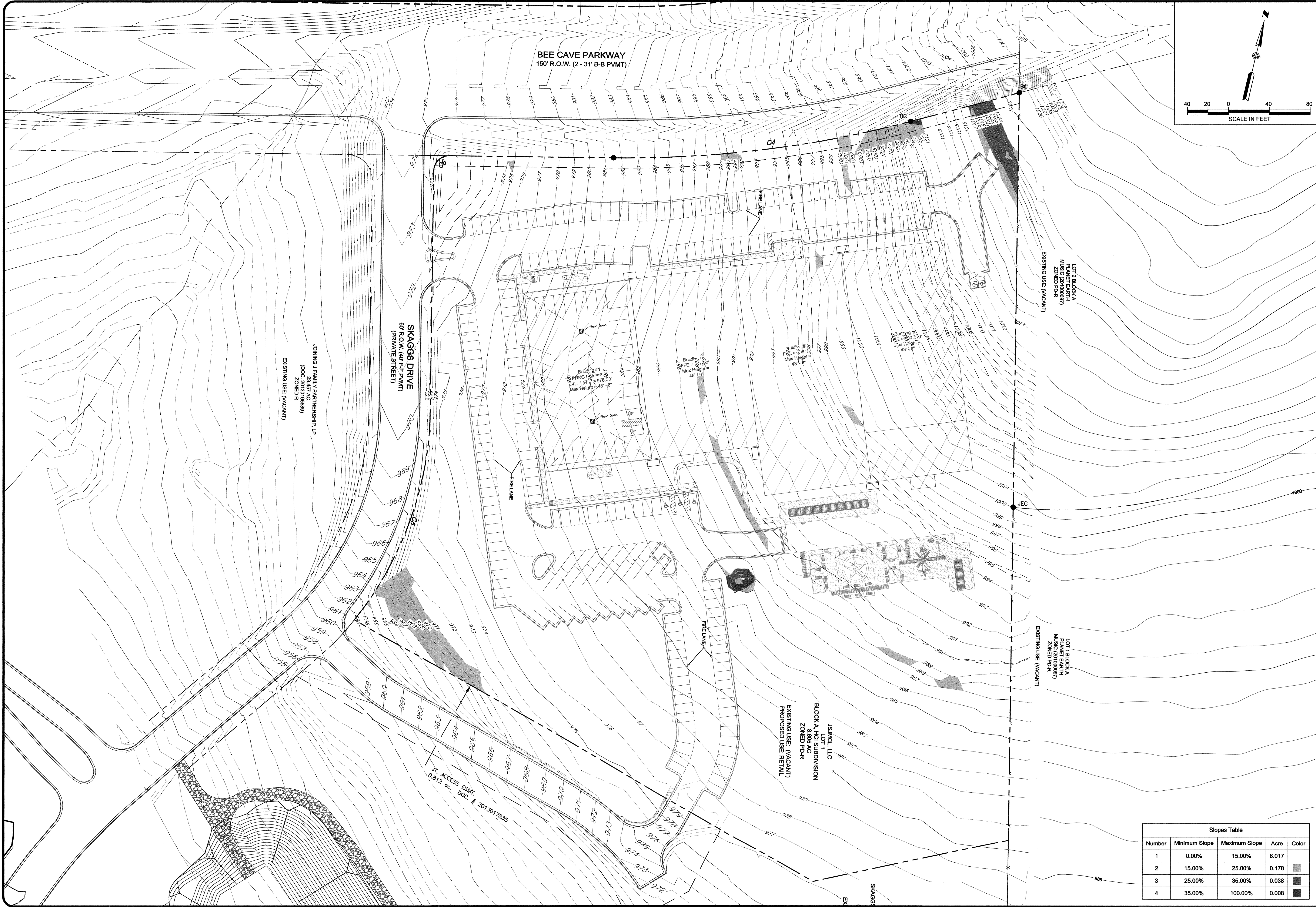
HILL COUNTRY INDOOR
SITE DEVELOPMENT PLANS / NPS PLAN
GRADING PLAN

DATE	BY	REVISIONS
2/25/2015	SDM	DESCRIPTION
DESIGNED BY:	SDM	
DRAWN BY:	BSH	
CHECKED BY:	SDM	
DRAWING DATE:	2/25/2015	

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Phone 512.438.4700
Fax 512.438.4716
FRN - F-1986

JOB NUMBER: A279-401	GP01
SHEET NO. 9	OF 41 SHEETS

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User: jarmingo Date: 26, 15 - 16:58
Plot Date/Time: Jan, 27, 15 - 14:32:17



Slopes Table				
Number	Minimum Slope	Maximum Slope	Acre	Color
1	0.00%	15.00%	8.017	
2	15.00%	25.00%	0.178	
3	25.00%	35.00%	0.038	
4	35.00%	100.00%	0.008	

HILL COUNTRY INDOOR

SITE DEVELOPMENT PLANS / NPS PLAN

SLOPE MAP

REVISIONS

NO.	DESCRIPTION	BY	DATE

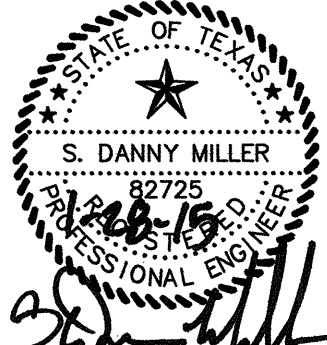
DATE: 1/27/2015

DESIGNED BY: SDM

DRAWN BY: BSH

CHECKED BY: SDM

DRAWING NAME: A279-401-SLO1





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Suite 150
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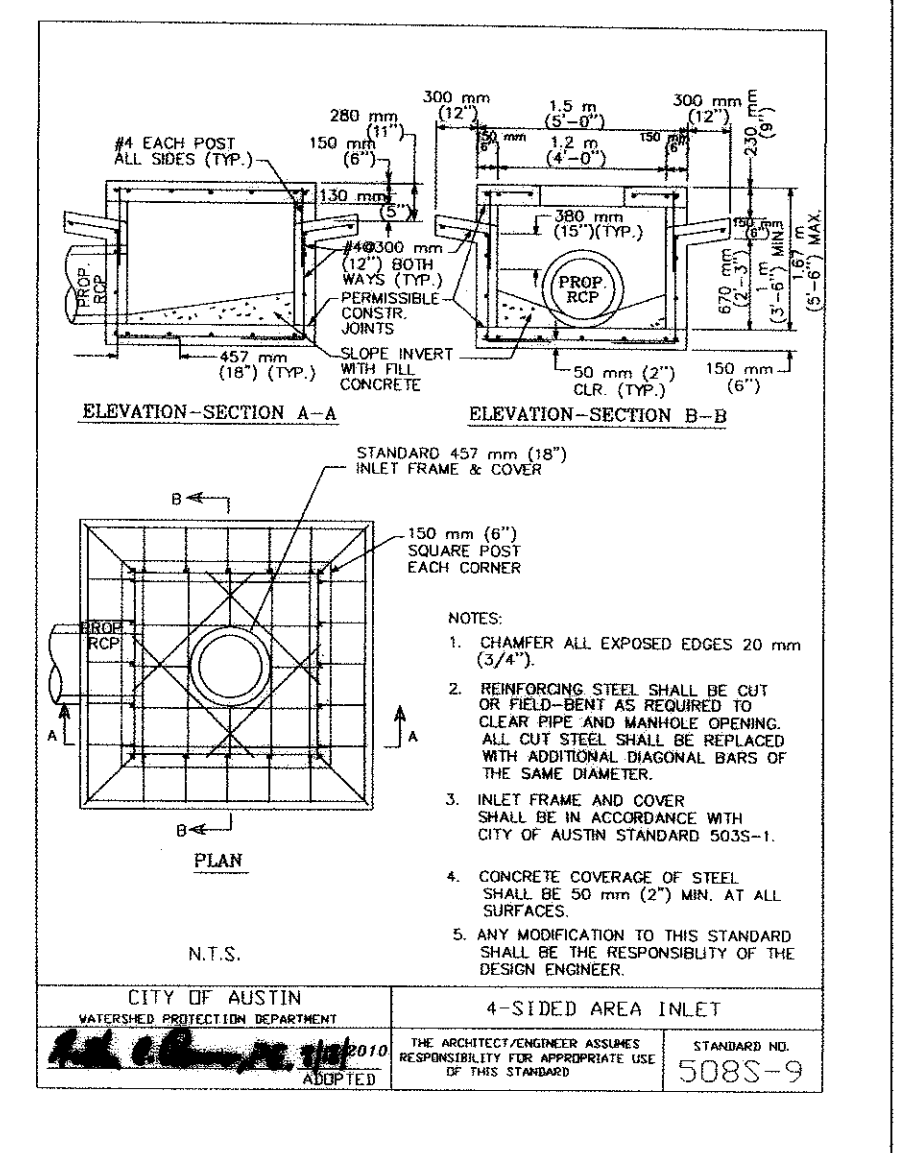
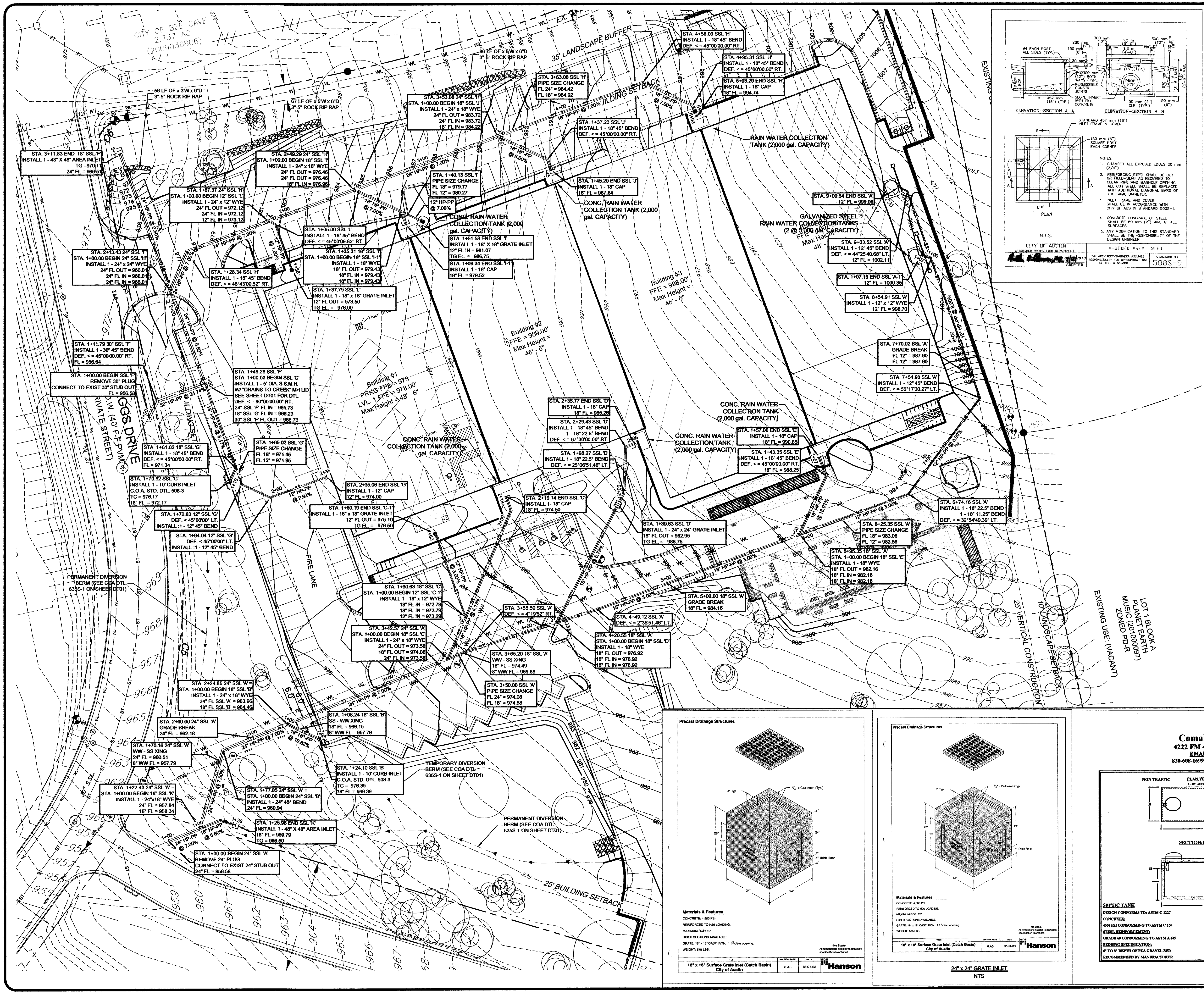
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SL01

SHEET NO. 12

OF 41 SHEETS

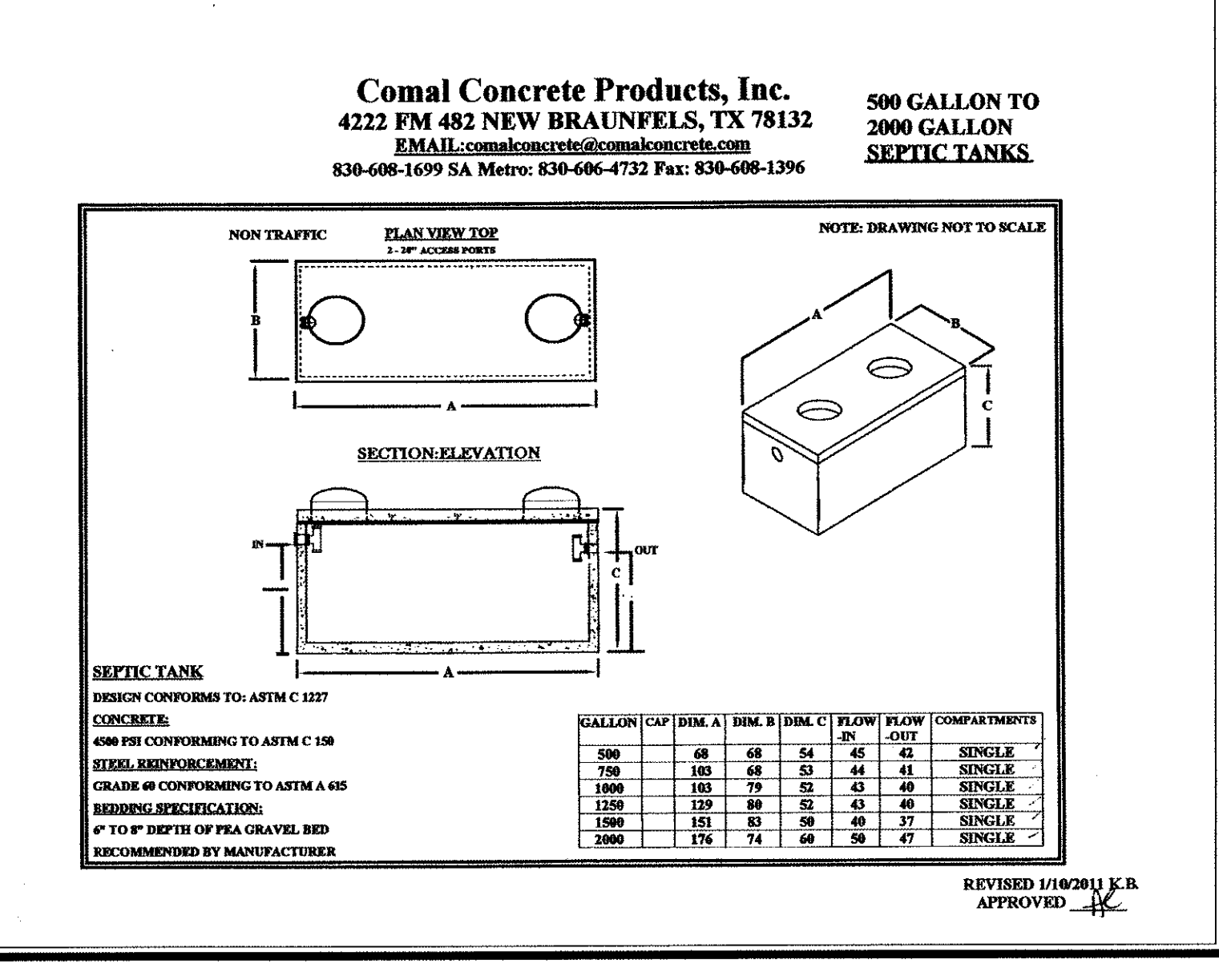
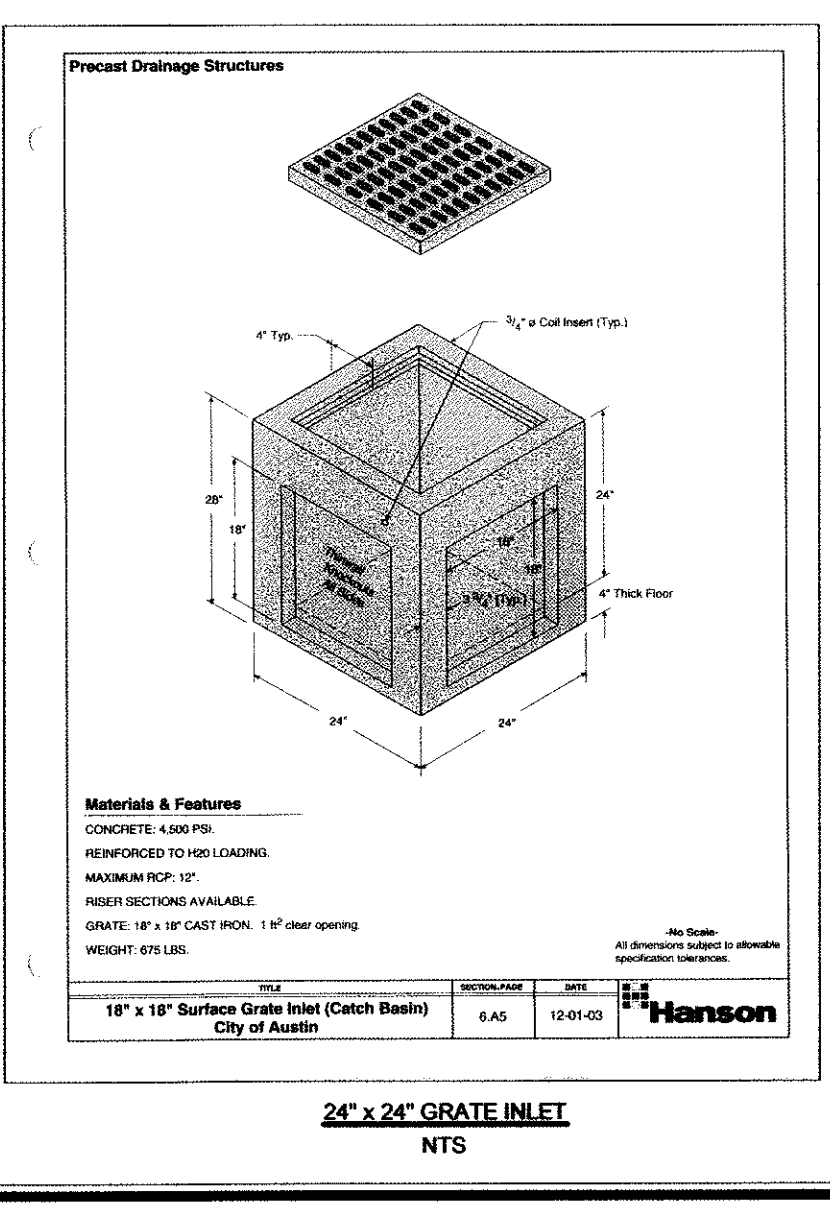
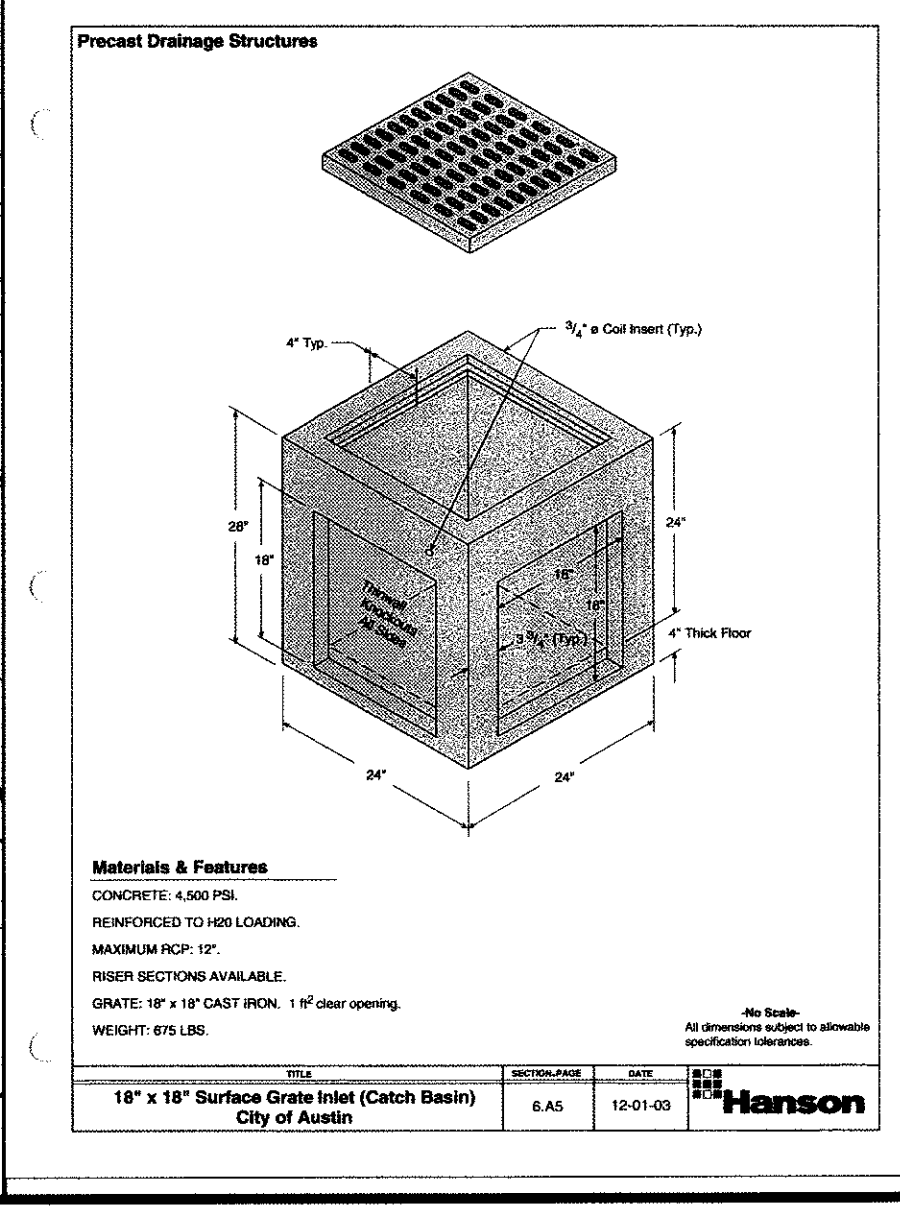
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Last Modified: Feb. 25, 15 11:03
Plot Date/Time: Feb. 25, 15 14:54:06



LEGEND

PROPOSED	EXISTING	DESCRIPTION
ST	ST	STORM SEWER LINE
WW	WW	WASTEWATER LINE
WL	WL	WATER LINE
WS	WS	WATER SERVICE
WB	WB	WATER BERM
WM	WM	WATER METER
WV	WV	WATER VALVE
WMH	WMH	WASTEWATER MANHOLE
SMH	SMH	STORMSEWER MANHOLE
CI	CI	CURB INLET
GI	GI	GRATE INLET
1/2"	1/2"	1/2" REBAR FOUND (OR AS NOTED)
1/2"	1/2"	1/2" REBAR WITH CAP FOUND
1/2"	1/2"	1/2" REBAR WITH CHAPARRAL CAP SET
U	U	UTILITY POLE
OU	OU	OVERHEAD UTILITIES
E	E	ELEC. UTILITY
M	M	ELEC. MANHOLE
L	L	LIGHT POLE
TF	TF	TELEPHONE UTILITY
UF	UF	UNDERGROUND FIBER OPTIC MARKER
TM	TM	TELEPHONE MANHOLE
UG	UG	UNDERGROUND GAS MARKER
CL	CL	CHAIN LINK FENCE

- NOTES**
1. CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION.
 2. CONTRACTOR TO FILL AND COMPACT TO 98% DENSITY IN FILL SECTIONS OVER STORM SEWER LINES. 2.0" MIN COVER OVER WATER PRIOR TO CONSTRUCTION.
 3. ALL STORM SEWER PIPE SHALL BE ASTM C-76 RCP OR ASTM D3212 HOPE-STE AS SHOWN ON PROFILE SHEET.
 4. ALL PIPE SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF AUSTIN SPECIFICATIONS.
 5. ALL BENDS AND FITTINGS SHALL BE PREFABRICATED BY MANUFACTURER. NO FIELD FABRICATION OF FITTINGS IS ALLOWED.
 6. SEE DETAIL BELOW FOR RAINWATER TANK DETAILS.



HILL COUNTRY INDOOR
SITE DEVELOPMENT PLANS / NPS PLAN
STORM SEWER PLAN

REVISIONS

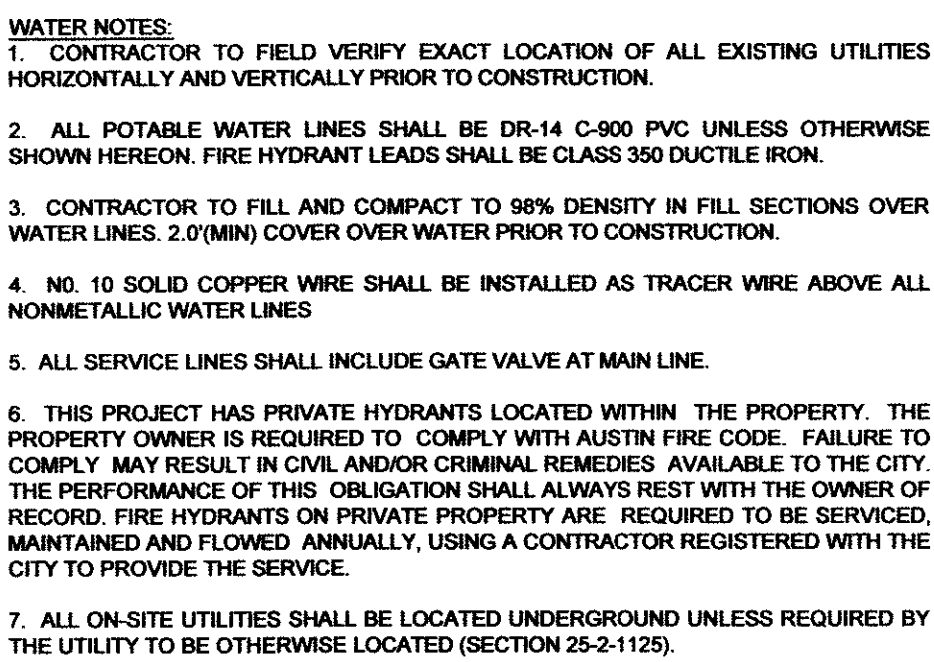
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2	2/25/2015	DRAWN BY: MRC
3	2/25/2015	CHECKED BY: MRC
4	2/25/2015	DRAWING NAME: 4279-41-SS01

DATE: 2/25/2015
DESIGNED BY: MRC
DRAWN BY: MRC
CHECKED BY: MRC
DRAWING NAME: 4279-41-SS01

STATE OF TEXAS
S. DANNY MILLER
REGISTERED PROFESSIONAL ENGINEER
NO. 82725
EXPIRATION DATE: 12/31/2018

LJA Engineering, Inc.
5316 Highway 280 West
Suite 150
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Phone: 512.389.4700
Fax: 512.389.4716
FRN - F-1386

JOB NUMBER: 4279-401
SS01
SHEET NO. 13
OF 41 SHEETS

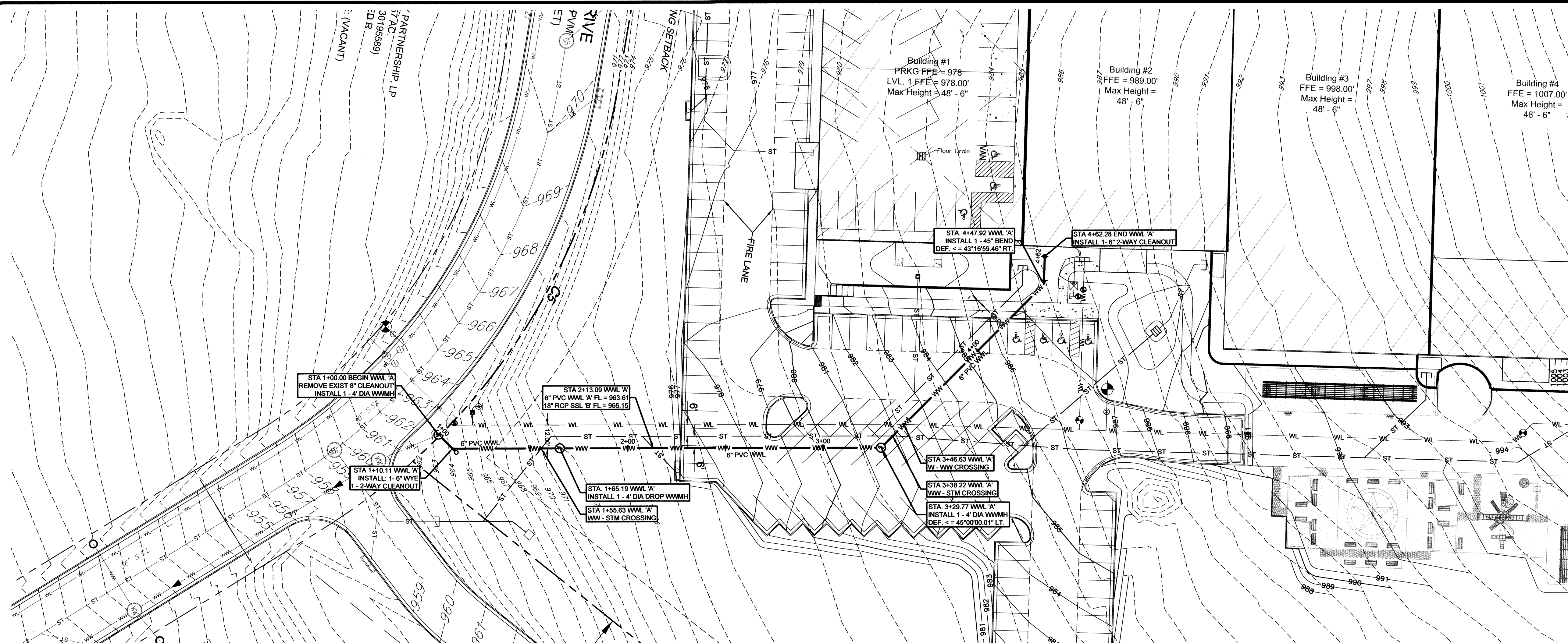


JOB NUMBER:
A279-401

WL01

SHEET NO.
14

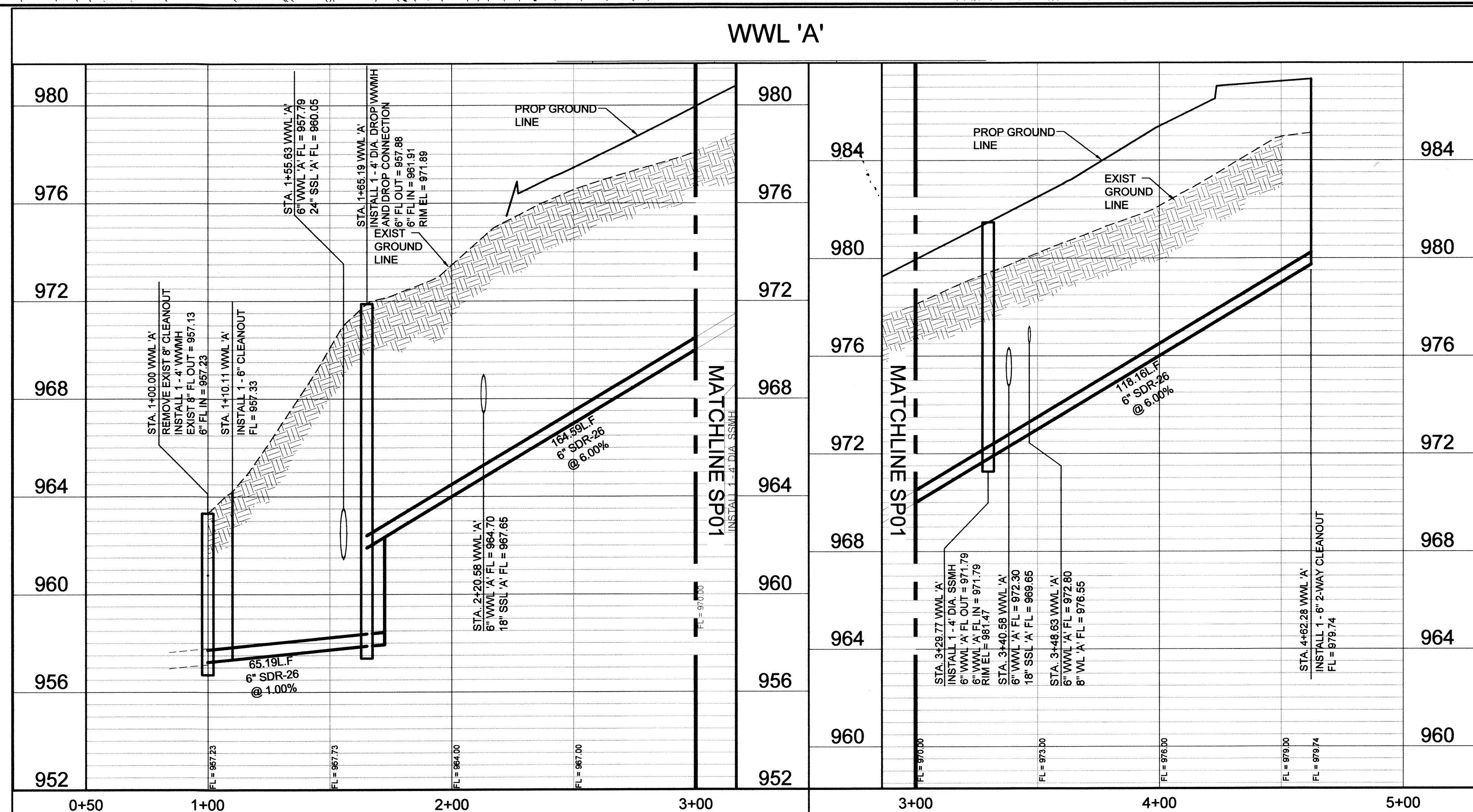
OF 41 SHEETS



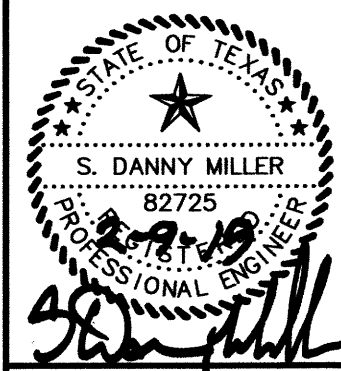
LEGEND	
PROPOSED	EXISTING
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WASTEWATER NOTES:

1. CONTRACTOR TO FIELD VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION.
2. MANHOLE TESTING WILL BE REQUIRED ON ALL FLEXIBLE GRAVITY WASTEWATER PIPE AS PER TCDO RULES.
3. ALL GRAVITY WASTEWATER LINES SHALL BE SDR-26 WML ASTM D3034 UNLESS OTHERWISE NOTED.
4. CONTRACTOR TO FILL AND COMPACT TO 98% DENSITY IN FILL SECTIONS OVER WASTEWATER LINES. 2.0(MIN) COVER OVER WASTEWATER PRIOR TO CONSTRUCTION.
5. ALL SERVICES SHALL TERMINATE WITH A 2-WAY CLEANOUT.
6. ALL WASTEWATER CONNECTIONS TO EXISTING WASTEWATER MANHOLES SHALL MEET WASTEWATER MANHOLE REHABILITATION REQUIREMENTS. THESE REQUIREMENTS WILL BE DETERMINED PRIOR TO ANY CONNECTION. CONTACT LOUISIANA CERDA AT 974-5605 OR ANGEL GOMEZ AT 974-5605 FOR DETERMINATION.
7. ALL ON-SITE UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS REQUIRED BY THE UTILITY TO BE OTHERWISE LOCATED (SECTION 2.5-2.112).



REVISIONS			
NO.	DESCRIPTION	BY	DATE
DESIGNED BY: MRC			
DRAWN BY: MRC			
CHECKED BY: --			
DRAWING DATE: 4/29-4/4/2015			



LJA Engineering, Inc.

LJA

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Fax 512.439.4716
FRN - F-1386

5316 Highway 290 West
Suite 150
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JOB NUMBER:
A279-401

WW01

SHEET NO.

16

OF 41 SHEETS